



Date: January 31, 2022

To: All Plan Holders **From:** Casey Ivy

Subject: **ADDENDUM NO. 2**

Project Name: **Northport FMS #9 Renovations – Northport, AL**

IFB No: AC-22-B-0004-S

Contract Duration: 410 calendar days from Notice to Proceed

Bid Final Plans Date: January 2022

Bid Opening Date: **February 10, 2022 (Changed in Addendum No. 2)**

The Plans and Specifications of the subject project, dated January 2022, are amended as follows: (Where there are conflicts between the plans and specifications and the addendum, this addendum shall govern)

Item No. 1: Refer to the Drawings, **Delete** and **Replace** the following Drawing Sheets:

T1.0 – TITLE SHEET

Civil

C2.1 – SITE LAYOUT AND UTILITIES PLAN

C3.1 – SITE GRADING AND DRAINAGE PLAN

C5.1 – SITE DETAILS

Architectural

A1.0 – GENERAL DEMOLITION NOTES & SPECIFIC NOTES

A1.1 – EXISTING FLOOR PLAN – DEMOLITION

A2.1 – NEW FLOOR PLAN

A3.1 – FINISH SCHEDULE, DOOR SCHEDULE, & WINDOW SCHEDULE

A3.3 – DETAILS

A4.2 – NEW ELEVATIONS

A5.1C – NEW WASH RACK ROOF PLAN & SECTION

A6.1 – ENLARGED PLANS, ELEVATIONS, AND DETAILS

A6.2 – ENLARGED PLANS, ELEVATIONS, AND DETAILS

Electrical

E1.1 – SITE PLAN – ELECTRICAL

E2.1 – MAINTENANCE BUILDING FLOOR PLAN – LIGHTING

E3.1 – MAINTENANCE BUILDING FLOOR PLAN – POWER

Electrical (Cont.)

E4.1 – MAINTENANCE BUILDING FLOOR PLAN - AUXILARY

Item No. 2: Refer to the Drawings, **Add** the following Drawing Sheets:

Architectural

A2.2 – ROOF PLAN

Item No. 3: Refer to Attachment A for location of CMU storage building. The following scope of work to be added as part of the Base Bid:

The Contractor shall first tuckpoint and/or seal all cracked or separated mortar joints in existing exterior CMU with new mortar or joint sealer. Prepare existing CMU per manufacturer's written recommendations and coat entire exterior CMU with new Masonry/Concrete, Opaque, Waterproofing Coating. Contractor shall also repaint existing to remain hollow metal door and frame (both sides). Contractor shall also repaint all existing to remain metal flashing, gutter, and downspouts. Final Colors to be approved by Owner and Architect.

Item No. 4: RFI Response:

Question: The fire alarm drawings call for a Monaco Transceiver and Antenna, but they are wanting it to communicate over fiber. That is contradictory of one another, please provide direction.

Response: Refer to Drawing 1/E4.3 on Drawing Sheet E4.3. The Contractor shall provide IP modules for monitoring. Provide two (2) CAT 6 back to CBB. System shall be monitored by Guard in Montgomery. Provide Connection.

Item No. 5: RFI Response:

Question: (26 08 50 – 1.4.2.6 Fire Suppression System Interface). It is basically calling out a Special Hazard extinguishing agent system and it says to refer to the drawings for its location. I've searched the drawings frontwards and backwards and I can't find the special hazard system they are referring to, or a particular area of the building that would require special hazards system other than possibly the batter room. Please advise.

Response: There are no special hazard extinguishing agent systems in the facility.

Item No. 6: RFI Response:

Question: Please verify if CAD files can be provided to the Contractor free of charge after the project award. If not, please include associated cost that would be applied.

Response: No CAD files will be provided to the Contractor after the project award.

Item No. 7: RFI Response:

Question: Drawing A9.1 indicates new striping on existing concrete floor. Please provide specifications for this.

Response: Refer to the Specifications, SECTION 09 9000 Painting and Coating, Paragraph 2.04 Paint Systems – Interior. Add the following paragraph:

I. Floor Striping:

1. Equal to Sherwin Williams Pro-Park Waterborne Traffic Marking Paint B97 Series. Install per manufacturer's written instructions. Match existing color palette, written final approval required by Owner and Architect.

Item No. 8: RFI Response:

Question: On sheet A3.1 the Finish Schedule calls out "new sealant" on existing concrete. Is this referring to sealing the joints or to sealing the slab?

Response: Refer to revised attached drawing sheet A3.1 Finish Schedule. The sealer to be used is as specified in SECTION 09 9000 Painting and Coating, Paragraph 2.04.G.

Item No. 9: RFI Substitution Response:

SIEMENS shall not be accepted as a manufacturer for Fire Alarm System and Components.

Item No. 10: Refer to Specifications SECTION 08 4313 Aluminum-Framed Storefronts; **Delete and Replace** with the attached SECTION 08 4313 Aluminum-Framed Storefronts.

Item No. 11: Refer to attached drawing sheet C2.1 Site Layout and Utilities Plan. As part of Bid Item A. The General Contractor shall include pricing for both the Diverter Valve as detailed on drawing sheet C6.1 and the Manual Diverter Valve as detailed on sheet C2.1. After award, the Owner will select which diverter option to proceed with installation. The amount of the work and materials required for the diverter option not selected shall be credited back to the Owner.

Item No. 12: The Bid Date shall be changed as follows:

Sealed bids will be received by the Armory Commission of Alabama, at the State Military Department Building, 1720 Cong. W.L. Dickinson Drive, (P.O. Box 3711), Montgomery, Alabama, **until 2:00 p.m., Central Time, Thursday, February 10, 2022,** for Northport FMS #9 Renovations, Northport, AL (IFB # **AC-22-B-0004-S**) at which time they will be publicly opened and read in the Second Floor Classroom (Room 201), of the State Military Department, Joint Forces Headquarters (JFHQ), 1720 Cong. W.L. Dickinson Drive, Montgomery, Alabama.

Item No. 13: The deadline for Request for Information (RFIs) shall be changed as follows:

RFIs must be received in writing by Casey Ivy via e-mail civy@sslarch.com no later than 5:00 p.m., Central Time, on Tuesday February 1, 2022.

Seay, Seay &
Litchfield, P. C.

Architects
Interior Designers

1115 South
Court Street

Montgomery
Alabama 36104

Jim H. Seay, Sr. - Founder
Jim H. Seay, Jr.
Frank E. Litchfield, III

Telephone: (334) 263-5162
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End of Addendum No. 2

Attachments:

Drawing Sheets:

T1.0 – TITLE SHEET
C2.1 – SITE LAYOUT AND UTILITIES PLAN
C3.1 – SITE GRADING AND DRAINAGE PLAN
C5.1 – SITE DETAILS
A1.0 – GENERAL DEMOLITION NOTES & SPECIFIC NOTES
A1.1 – EXISTING FLOOR PLAN – DEMOLITION
A2.1 – NEW FLOOR PLAN
A3.1 – FINISH SCHEDULE, DOOR SCHEDULE, & WINDOW SCHEDULE
A3.3 – DETAILS
A4.2 – NEW ELEVATIONS
A5.1C – NEW WASH RACK ROOF PLAN & SECTION

Attachments (Cont.)

A6.1 – ENLARGED PLANS, ELEVATIONS, AND DETAILS
A6.2 – ENLARGED PLANS, ELEVATIONS, AND DETAILS
E1.1 – SITE PLAN – ELECTRICAL
E2.1 – MAINTENANCE BUILDING FLOOR PLAN – LIGHTING
E3.1 – MAINTENANCE BUILDING FLOOR PLAN – POWER
E4.1 – MAINTENANCE BUILDING FLOOR PLAN – AUXILARY
A2.2 – ROOF PLAN

Attachment A

SECTION 08 4313 Aluminum-Framed Storefronts

NORTHPORT FMS #9 RENOVATIONS

2509 44th AVENUE

NORTHPORT, AL 35476

PROJECT INFORMATION:

OWNER:
ALABAMA ARMY NATIONAL GUARD
1720 CONG. WL DICKINSON DRIVE
MONTGOMERY, AL 36109
IFB NO: AC-22-B-0004-S

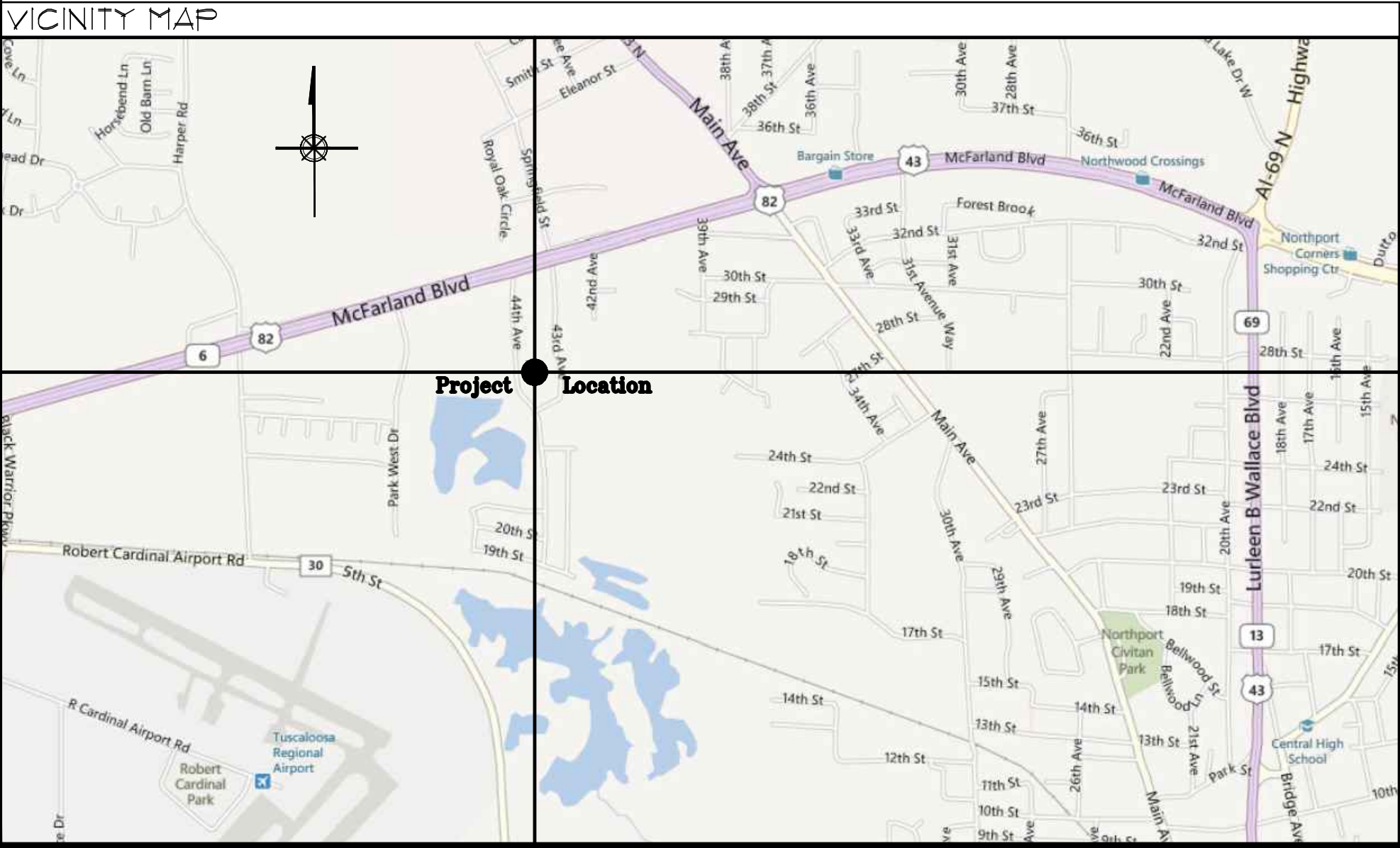
ARCHITECT:
SEAY, SEAY AND LITCHFIELD P.C.
ARCHITECTURAL DESIGN
CONSTRUCTION ADMINISTRATION
PHONE (334) 263-5162
FAX (334) 263-5170
1115 S. COURT STREET
MONTGOMERY, ALABAMA 36104

CIVIL:
PROFESSIONAL ENGINEERING
CONSULTANTS, L.L.C.
822 SOUTH McDONOUGH STREET
MONTGOMERY, ALABAMA 36104

STRUCTURAL:
BLACKBURN DANIELS O'BARR INC.
8805 CO. RD. 40,
LOWNDESBORO, AL 36752

MECHANICAL AND PLUMBING:
WHORTON ENGINEERING, INC.
25 SUMMERALL GATE ROAD
ANNISTON, ALABAMA 36205

ELECTRICAL:
GUNN & ASSOCIATES, P.C.
3102 HIGHWAY 14
MILLBROOK, ALABAMA 36054



SS&L

SEAY SEAY & LITCHFIELD, P.C.

architecture . interiors . planning . graphics

INDEX TO DRAWINGS (FMS #9)			
SHEET NAME	DESCRIPTION	SHEET NAME	DESCRIPTION
			ELECTRICAL (CONT.)
T1.0	TITLE SHEET	E3.4	EQUIPMENT SCHEDULES
	CIVIL	E4.1	MAINTENANCE BUILDING FLOOR PLAN - AUXILIARY
C1.1	SITE DEMOLITION PLAN	E4.2	COMMUNICATION SYSTEM DETAILS
C2.1	SITE LAYOUT AND UTILITIES PLAN	E4.3	FIRE ALARM / MNS SINGLE LINE DIAGRAM DETAILS AND NOTES
C3.1	SITE GRADING AND DRAINAGE PLAN	E5.1	LUMINAIRE SCHEDULE
C4.1	SITE EROSION AND SEDIMENTATION CONTROL PLAN	E5.2	PANELBOARD SCHEDULES AND DETAILS
C5.1	SITE DETAILS	E5.3	PANELBOARD SCHEDULES
C6.1	SITE DETAILS	E6.1	RISER DIAGRAM POWER DISTRIBUTION
	STRUCTURAL	E6.2	GROUNDING DETAILS
S0.1	GENERAL NOTES, SCHEDULES, AND TYPICAL DETAILS		
S1.1	FOUNDATION PLAN EXISTING MAINTENANCE SHOP		
S1.2	FOUNDATION PLAN STORAGE BUILDING		
S1.3	ROOF FRAMING PLAN STORAGE BUILDING		
S1.4	ROOF FRAMING PLAN NEW WASH RACK		
S2.1	SECTIONS AND DETAILS		
S2.2	SECTIONS AND DETAILS		
	ARCHITECTURAL		
A1.0	GENERAL DEMOLITION NOTES & SPECIFIC NOTES		
A1.1	EXISTING FLOOR PLAN - DEMOLITION		
A2.1	NEW FLOOR PLAN		
A2.1B	NEW FLOOR PLAN - STORAGE BUILDING		
A2.1C	NEW WASH RACK FLOOR PLAN AND ELEVATIONS - BID ITEM A ALTERNATE NO. 1		
A2.2	ROOF PLAN		
A2.2B	NEW STORAGE BUILDING ROOF PLAN		
A3.1	FINISH SCHEDULE, DOOR SCHEDULE, & WINDOW SCHEDULE		
A3.1B	FINISH AND DOOR SCHEDULE - STORAGE BUILDING		
A3.2	DETAILS		
A3.3	DETAILS		
A4.1	EXISTING ELEVATIONS - DEMOLITION		
A4.1B	NEW STORAGE BUILDING ELEVATIONS		
A4.2	NEW ELEVATIONS		
A5.1B	NEW STORAGE BUILDING - SECTION & DETAILS		
A5.1C	NEW WASH RACK ROOF PLAN & SECTION - BID ITEM A ALTERNATE NO. 1		
A5.2	DETAIL SECTIONS		
A5.2B	WALL SECTIONS - NEW STORAGE BUILDING		
A6.1	ENLARGED PLANS, ELEVATIONS, AND DETAILS		
A6.2	ENLARGED PLANS, ELEVATIONS, AND DETAILS		
A8.1	REFLECTED CEILING PLAN - MAINTENANCE SHOP		
A8.1B	REFLECTED CEILING PLAN - NEW STORAGE BUILDING		
A9.1	NEW FINISH FLOOR PATTERN PLAN		
	PLUMBING		
P1.1	PLUMBING SCHEDULES, LEGEND, AND NOTES		
P1.2	PLUMBING DETAILS		
P2.1	PLUMBING DEMOLITION PLAN		
P2.2	PLUMBING DEMOLITION DETAILS		
P3.1	REVISED WASTE, WATER, AND GAS PLUMBING PLAN		
P4.1	REVISED OIL/LUBE AND AIR PIPING PLAN		
P5.1	REVISED WASTE & WATER PLUMBING RISER DIAGRAMS		
P5.2	REVISED GAS PLUMBING RISER DIAGRAM		
	MECHANICAL		
M1.1	HVAC LEGEND, NOTES, AND SCHEDULES		
M1.2	HVAC SCHEDULES		
M1.3	HVAC SCHEDULES AND DETAILS		
M1.4	HVAC SCHEDULES AND DETAILS		
M2.1	HVAC DETAILS		
M2.2	HVAC DETAILS		
M2.3	HVAC DETAILS		
M2.4	HVAC DETAILS		
M2.5	HVAC DETAILS		
M3.1	HVAC DEMOLITION PLAN		
M4.1	HVAC REVISED PLAN		
M5.1	STORAGE BLDG. HVAC PLAN		
	ELECTRICAL		
E0.1	ELECTRICAL LEGEND		
E0.2	ELECTRICAL LEGEND NOTES		
E1.1	SITE PLAN - ELECTRICAL		
E1.2	SITE PLAN DETAILS		
E1.3	EXISTING MAINTENANCE BUILDING FLOOR PLAN DEMOLITION - LIGHTING		
E1.4	MAINTENANCE AND METAL BUILDING DEMOLITION		
E2.1	MAINTENANCE BUILDING FLOOR PLAN LIGHTING		
E2.2	METAL BUILDING #1, METAL BUILDING #2, WASH RACK LIGHTING		
E2.3	LIGHTING CONTROLS		
E3.1	MAINTENANCE BUILDING FLOOR PLAN - POWER		
E3.2	MAINTENANCE BUILDING FLOOR PLAN EQUIPMENT POWER		
E3.3	NEW METAL BUILDING #1, BUILDING #2, WASH RACK POWER		



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The Armory Commission of
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Montgomery, AL 36109

SS&L Job Number
140571

IFB Job Number
AC-22-B-0004-S

Date
JANUARY 2022

Drawn By
CMI, SS, TS, DC

Checked By
WRO

Revised
ADDENDUM NO. 2

Project Title

NORTHPORT
FMS #9 RENOVATIONS
NORTHPORT, AL

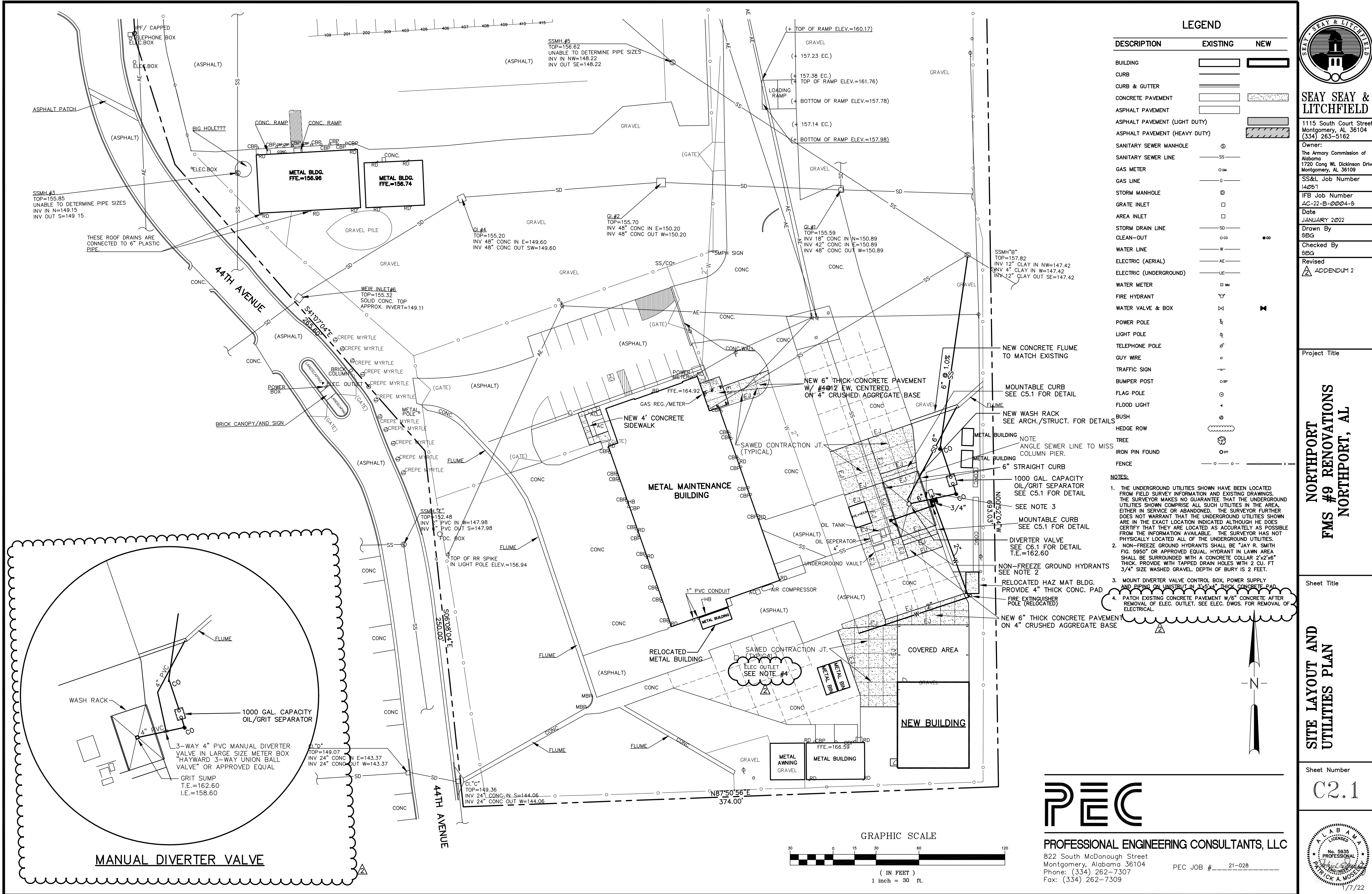
Sheet Title

TITLE SHEET

Sheet Number

T1.0





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Owner:

The Army Commission of
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SS&L Job Number

14051

IFB Job Number

AC-22-B-0004-5

Date

JANUARY 2022

Drawn By

SEB

Checked By

SEB

Revised

ADDENDUM 2

Project Title

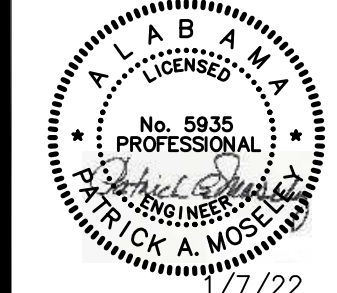
**NORTHPORT
FMS #9 RENOVATIONS
NORTHPORT, AL**

Sheet Title

**SITE LAYOUT AND
UTILITIES PLAN**

Sheet Number

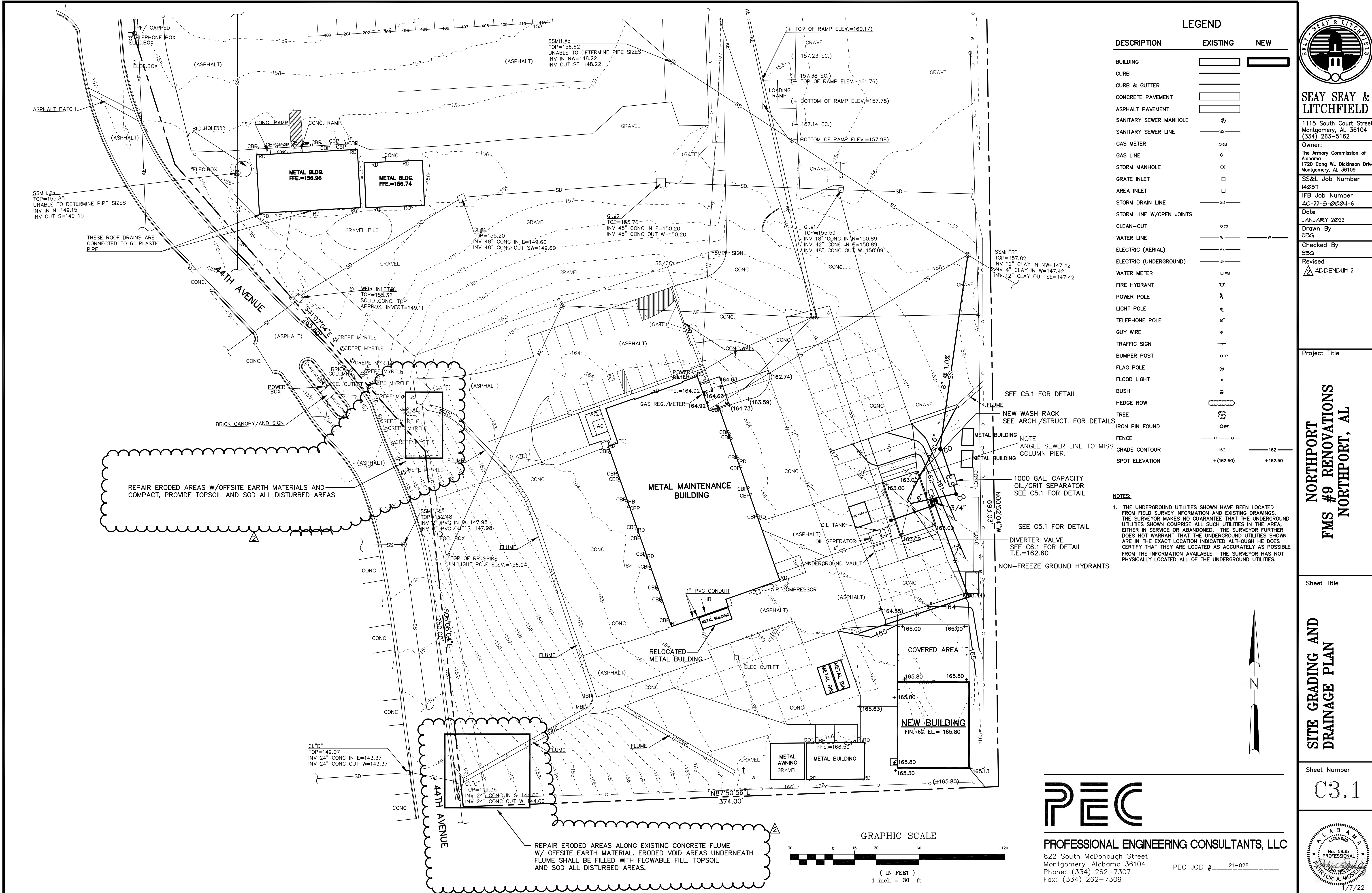
C2.1

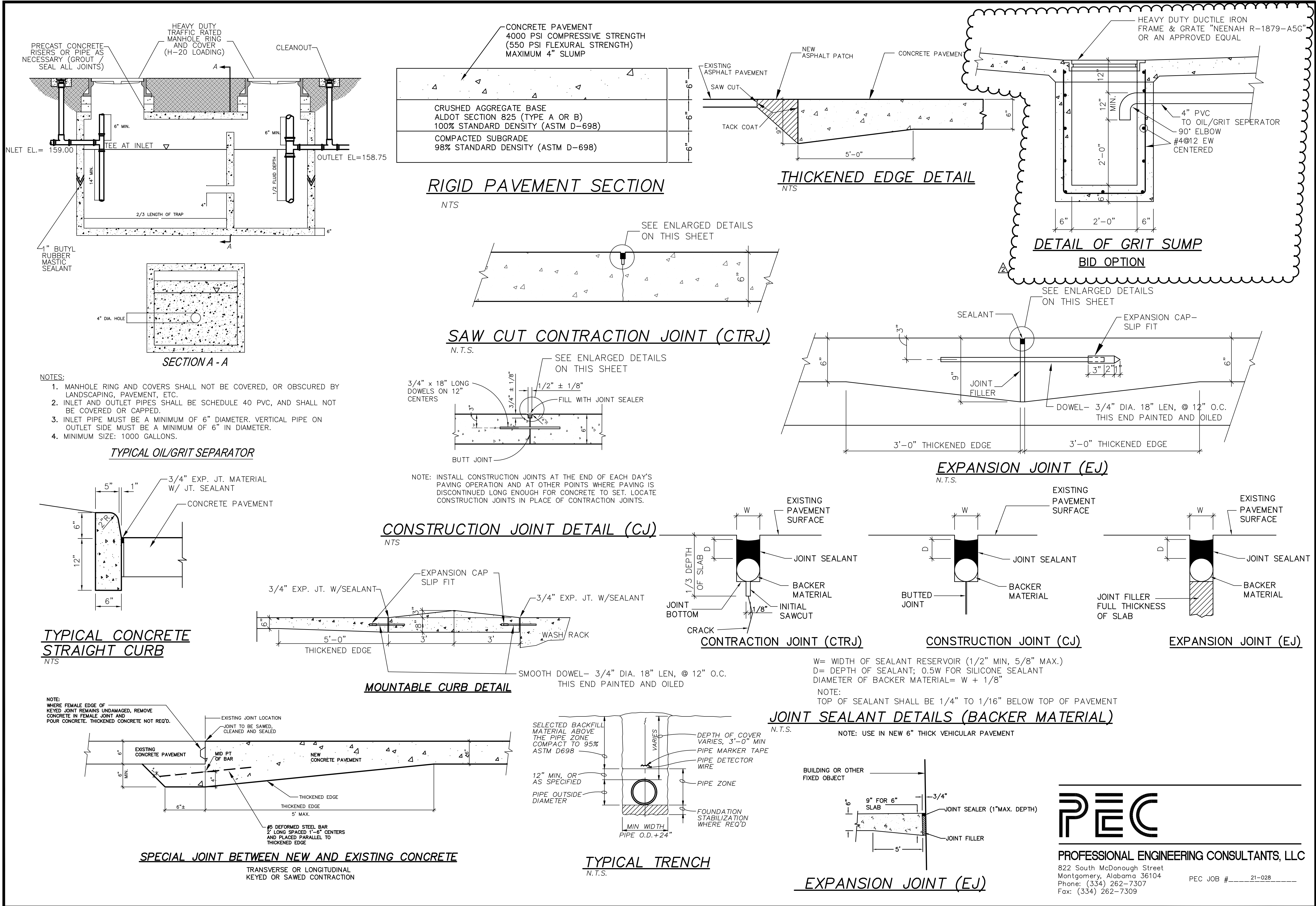


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PEC JOB # 21-028





GENERAL CONSTRUCTION NOTES:

- 1.)

GENERAL NOTES APPLY TO THE ENTIRE PROJECT. SPECIFIC NOTES () APPLY TO ISOLATED WORK AREAS AND ARE FOR THE CONVENIENCE OF THE CONTRACTOR. HOWEVER, ALL ISOLATED WORK AREAS ARE NOT NOTED. SHOULD A CONDITION OCCUR THAT IS NOT SPECIFICALLY NOTED, THE CONTRACTOR SHALL PROCEED WITH WORK PER GENERAL NOTES OR A SPECIFIC WORK NOTE(S) USED IN OTHER SIMILAR CONDITIONS, WHICHEVER IS MORE STRINGENT, PER APPROVAL OF ARCHITECT VIA OWNER.
- 2.)

NOTIFY ARCHITECT IMMEDIATELY IF THERE ARE ANY DISCREPANCIES WITH TAGGED DETAILS, ENLARGED PLANS.
- 3.)

DEMOLITION WORK, AS WELL AS NEW CONSTRUCTION, WILL BE PERFORMED THROUGHOUT THE BUILDING. THE GENERAL CONTRACTOR TO VISIT SITE AND TO BECOME TOTALLY FAMILIAR WITH EXTENT OF WORK REQUIRED PRIOR TO BEGINNING ANY DEMOLITION WORK.
- 4.)

ALL OSHA AND APPLICABLE STANDARDS UPHELD TO ASSURE SAFETY OF ALL PERSONS ON SITE DURING ENTIRE COURSE OF CONSTRUCTION.
- 5.)

DIMENSIONS OF EXISTING STRUCTURES ARE ONLY FOR THE CONVENIENCE OF THE CONTRACTOR. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS. LOCATION OF WALLS SHALL BE AS SHOWN ON PLANS RELATIVE TO EXISTING CONDITIONS.
- 6.)

ALL EXTERIOR EXISTING DOORS AND FRAMES TO BE RE-PAINTED. FOR HOLLOW METAL DOORS TO FRAMES, REMOVE ALL RUST, SAND SMOOTH TO RE-PAINT.
- 7.)

WHERE NEW WALLS ARE SHOWN, WALLS SHALL RUN FROM FLOOR TO DECK ABOVE, CLOSE ALL GAPS. ALL NEW CMU WALLS SHALL EXTEND AND BE COMPLETELY SEALED TO UNDERSIDE OF ROOF DECK.
- 8.)

FOR PATCHING OF FLOOR SLAB PENETRATIONS LEFT AS A RESULT OF BUT NOT LIMITED TO WALLS, DOOR, FLOOR, WINDOWS, CABINETRY, ETC. REMOVE PORTIONS AS REQUIRED FOR SPECIFIED WORK, NOT ALL DUCT/PIPE/CONDUIT PENETRATIONS ARE SHOWN, VERIFY WITH MECHANICAL, PLUMBING, ELECTRICAL, AND ALL OTHER TRADES FOR OTHER REQUIRED PENETRATIONS. COORDINATE TO AVOID STRUCTURAL BEAMS.
- 9.)

REMOVE ALL CEILING GRID AND TILE AS REQUIRED.
- 10.)

WHERE NEW CONSTRUCTION 'TIES INTO' EXISTING CONSTRUCTION, THE GENERAL CONTRACTOR SHALL MAKE A TRANSITION THAT APPEARS SEAMLESS. THE FLOOR AND THRESHOLD, WHERE THE EXISTING CONCRETE SLAB MEETS THE NEW CONCRETE SLAB, SHALL BE SMOOTH AND LEVEL.
- 11.)

CONTRACTOR IS RESPONSIBLE FOR RELOCATING/PROTECTING/STORING REMAINING FURNITURE DURING PROJECT DURATION AND LOCATE/INSTALL BACK IN PLACE AT OWNER'S GUIDANCE AT PROJECT COMPLETION.
- 12.)

SEE SPECIFICATIONS SECTION 08 1100 FOR DOOR HARDWARE REPLACEMENT / NEW INSTALLATION.
- 13.)

ALL EXTERIOR / SITE AREAS DISTURBED BY CONSTRUCTION ACTIVITIES MUST BE RE-ESTABLISHED TO LIKE NEW CONDITIONS. (TIRE RUTS FILLED, SOD PLACED, DAMAGED SIDEWALKS REPAIRED OR REPLACED, ETC.) CONTRACTOR SHALL PHOTO AND VIDEO DOCUMENT EXISTING CONDITIONS WITH OWNER PRIOR TO BEGINNING CONSTRUCTION ACTIVITIES.
- 14.)

WHERE CMU DEMOLITION HAS OCCURRED, THE CONTRACTOR IS TO INSURE WHERE NEW CMU IS INSTALLED AT DEMOLISHED AREAS, THE CMU SHOULD BE BLENDED TO MATCH EXISTING AND ADJACENT CMU. CORNER CONDITIONS SHOULD BE FINISHED. AREAS WHERE INTERSECTING WALLS ARE DEMOLISHED, THE REMAINING WALL SHALL BE PATCHED / INFILLED WITH CMU FOR A SMOOTH FINISH - MATCH EXISTING CMU SIZES.
- 15.)

CONTRACTOR TO VERIFY ALL LOAD BEARING CONDITIONS AND PROVIDE SHORING AS REQUIRED IN ALL AFFECTED AREAS PRIOR TO AND DURING DEMOLITION AND/OR CONSTRUCTION. REPORT ANY CONDITIONS THAT APPEAR TO BE DIFFERENT TO THE ARCHITECT BEFORE REMOVING PARTITION.
- 16.)

PROTECT EXISTING DOORS, WALL MOUNTED OWNER EQUIPMENT, HVAC UNITS AND LIGHT FIXTURES TO BE REUSED.
- 17.)

CONTRACTOR TO INSURE ALL PENETRATIONS THROUGH FIRE RATED WALLS ARE SEALED PER SPECIFICATIONS SECTION 01 8401 FIRESTOPPING.
- 18.)

CONTRACTOR TO REPAINT ALL INTERIOR AND EXTERIOR WALLS, INCLUDING SHOP CEILING, ALL EXTERIOR WALLS TO RECEIVE NEW SEALANT - COLORS TO BE SELECTED BY OWNER AND ARCHITECT.
- 19.)

CONTRACTOR TO PAINT ALL EXISTING BOLLARDS AND NEW BOLLARDS - COLOR TO BE SELECTED BY OWNER AND ARCHITECT.
- 20.)

CONTRACTOR TO REPAINT ALL DOORS AND FRAMES. FINAL COLORS TO BE SELECTED BY OWNER AND ARCHITECT.
- 21.)

AT ALL FIRE EXTINGUISHER LOCATIONS, CONTRACTOR SHALL PROVIDE WALL HOOKS TO SUPPORT NEW OWNER FURNISHED FIRE EXTINGUISHERS. PAINT FLOOR AS SHOWN IN DRAWINGS AT ALL FIRE EXTINGUISHER LOCATIONS.
- 22.)

AT ANY EXISTING INTERIOR OR EXTERIOR CMU WALLS PATCH AND REPAIR ANY EXISTING SMALL HOLES, ABANDONED CONDUIT LOCATIONS, ETC. TO MATCH EXISTING AND ADJACENT MATERIALS. PERFORM REPAIR WORK IN ACCORDANCE TO PAINTING AND/OR COATING MANUFACTURER'S REQUIREMENTS.

GENERAL DEMOLITION NOTES:

- 1.)

DOCUMENTATION CONTAINED IN THESE CONSTRUCTION DOCUMENTS OF EXISTING CONDITIONS MAY NOT BE ENTIRELY ACCURATE. CONTRACTOR IS TO TAKE THE INITIATIVE TO VISIT THE SITE PRIOR TO AND DURING THE PRE-BID PERIOD TO VERIFY ACTUAL CONDITIONS, THEREFORE RENDERING THE CONTRACTOR RESPONSIBLE FOR AN ACCURATE REPRESENTATION OF THE EXISTING CONDITIONS.
- 2.)

GENERAL DEMOLITION NOTES APPLY TO THE ENTIRE PROJECT. SPECIFIC NOTES (DESIGNATED) APPLY TO ISOLATED WORK AREAS AND ARE FOR THE CONVENIENCE OF THE CONTRACTOR. HOWEVER, ALL ISOLATED WORK AREAS ARE NOT NOTED. SHOULD A CONDITION OCCUR THAT IS NOT SPECIFICALLY NOTED, THE CONTRACTOR SHALL PROCEED WITH WORK PER GENERAL DEMOLITION NOTES OR A SPECIFIC WORK NOTE(S) USED IN OTHER SIMILAR CONDITIONS, WHICHEVER IS MORE STRINGENT, PER APPROVAL OF ARCHITECT VIA OWNER.
- 3.)

CONTRACTOR SHALL BE RESPONSIBLE FOR & MAKE REPARATIONS TO ANY & ALL DAMAGE TO "EXISTING TO REMAIN" EQUIPMENT, FIXTURES, WALLS, FLOORS, CEILINGS, DOORS, WINDOWS, HARDWARE, TRIM, UNALTERED FINISHES OR ANY OTHER BUILDING ELEMENTS INTERIOR OR EXTERIOR THAT MAY OCCUR DURING THE DEMOLITION AND/OR CONSTRUCTION PHASES. ALL REPARATIONS SHALL BE MADE PRIOR TO SUBSTANTIAL COMPLETION.
- 4.)

DOTTED LINE GENERALLY INDICATES EXISTING AREAS TO BE REMOVED, INCLUDING BUT NOT LIMITED TO WALLS, DOORS, FLOOR COVERING, CEILINGS, ETC.. PROVIDE TEMPORARY SHORING AS REQUIRED AT ALL LOAD BEARING CONDITIONS.
- 5.)

THE BUILDING WILL CONTINUE TO BE OCCUPIED DURING CONSTRUCTION. ANY AND ALL HEAVY NOISE WILL NEED TO BE COORDINATED WITH P.O.C. SEE SPECIFICATIONS.
- 6.)

CONTRACTOR TO VISIT SITE AND BECOME TOTALLY FAMILIAR WITH EXTENT OF WORK REQUIRED. CONTRACTOR SHALL INSPECT EXTENT OF DEMOLITION.
- 7.)

REMOVAL OF ALL ENCUMBRANCES INCLUDING BUT NOT LIMITED TO DUCTS, PIPING, WIRING, ETCETERAS SHALL BE DONE BY THE CONTRACTOR TO ACHIEVE PLANS AS SHOWN EVEN IF NOT SHOWN ON DEMOLITION PLANS.
- 8.)

REMOVE ALL MISCELLANEOUS HARDWARE, PANELING, CLIPS, FASTENERS, WIRE, CONDUIT, PIPES, ETCETERAS FROM ANY AND ALL SURFACES TO RECEIVE A NEW FINISH. PATCH SUBSTRATES BY FILLING, GRINDING AND SANDING SMOOTH WITH ACCEPTABLE CONSTRUCTION INDUSTRY AND CODE COMPLIANT MATERIALS. PREPARE SURFACE FOR ACCEPTANCE OF MANUFACTURER SPECIFIED FINISH AND SURFACE TREATMENT. INSTALLATION OF FINISH INDICATES ACCEPTANCE OF SUBSTRATE BY APPLICATOR. WHERE NO NEW FINISHES OCCUR, PATCH EXISTING MATERIALS WITH MATCHING MATERIALS SO THAT PATCH WORK IS NOT VISIBLE.
- 9.)

PATCH ALL LOCATIONS REQUIRED BY ELECTRICAL AND MECHANICAL DEMOLITION. MATCH ADJACENT CONDITIONS.
- 10.)

REFER ALSO TO SELECTED DEMOLITION, SUMMARY OF WORK, ADDITIONAL INSTRUCTIONS TO BIDDERS, AND OTHER SPECIFICATION SECTIONS REQUIRED.
- 11.)

CONTRACTOR TO REMOVE EXISTING SEALANT AND BACKER ROD AT ALL EXTERIOR CONTROL JOINT LOCATIONS. PROVIDE NEW SEALANT AND BACKER ROD AT EXTERIOR CONTROL JOINT LOCATIONS, REFER TO SPECIFICATIONS SECTION 01 9005.

SPECIFIC DEMOLITION NOTES:

SPECIFIC NOTES APPLY TO ISOLATED WORK AREAS AND ARE FOR THE CONVENIENCE OF THE CONTRACTOR. HOWEVER, ALL WORK AREAS ARE NOT NOTED. SHOULD A CONDITION OCCUR THAT IS NOT SPECIFICALLY NOTED, THE CONTRACTOR SHALL PROCEED WITH WORK PER GENERAL NOTES OR A SPECIFIC WORK NOTE USED IN OTHER SIMILAR CONDITIONS, AS APPROVED BY ARCHITECT.

- 1

DEMOLISH EXISTING CABINETRY/COUNTERTOP AND PREPARE TO INSTALL NEW CABINETRY SHOWN ON A6.1 & A6.2
- 2

REMOVE EXISTING HVAC UNIT IN CONCRETE MASONRY WALL AND PREPARE TO INFILL.
- 3

REMOVE EXISTING WINDOW AND PREPARE TO RECEIVE NEW ALUMINUM STOREFRONT WINDOW.
- 4

REMOVE PORTION OF EXISTING CMU WALL AND PREPARE TO INSTALL NEW HOLLOW METAL FRAME AND NEW DOOR. COORDINATE WITH STRUCTURAL. REMOVE AND REINSTALL EXISTING LIGHTING FIXTURES, EXIT LIGHTS, AND CONDUITS AS REQUIRED TO INSTALL NEW FRAME AND DOOR.
- 5

REMOVE EXISTING OVERHEAD ROLLING DOORS AND PREPARE TO RECEIVE NEW OVERHEAD ROLLING DOOR.
- 6

OWNER TO REMOVE EXISTING FURNITURE AND CABINETRY.
- 7

CONTRACTOR TO REMOVE EXISTING CANOPY AND PREPARE TO INSTALL NEW ALUMINUM CANOPY. PATCH / REPAIR EXISTING CMU WHERE CANOPY FASTENERS WERE REMOVED.
- 8

REMOVE EXISTING INFILL PANEL, BOTH INTERIOR AND EXTERIOR, AND PREPARE FOR CMU INFILL.
- 9

REMOVE EXISTING DOOR AND FRAME. PREPARE TO INSTALL NEW DOOR AND HOLLOW METAL FRAME.
- 10

REMOVE EXISTING FLOOR FINISH (VCT AND ADHESIVE) AND PREPARE TO RECEIVE NEW FLOOR FINISH AS SHOWN ON A3.1 FINISH SCHEDULE AND AS SPECIFIED. CONTRACTOR TO COMPLETELY REMOVE ALL EXISTING MASTIC AND PREPARE EXISTING TO REMAIN CONCRETE TO RECEIVE NEW CONCRETE SEALER PER WRITTEN MANUFACTURER'S INSTRUCTIONS.
- 11

REMOVE EXISTING JAMBS AND LINTELS AND PREPARE TO RECEIVE NEW JAMBS AND LINTELS.
- 12

REMOVE EXISTING SINK AND PREPARE FOR NEW SINK INSTALLATION.
- 13

REMOVE EXISTING COILING COUNTER DOOR AND ADDITIONAL CMU. PREPARE TO INSTALL NEW DOOR AND HOLLOW METAL FRAME.
- 14

CONTRACTOR TO VERIFY WORKING EXISTING PART WASHERS PRIOR TO MOVEMENT FOR CONSTRUCTION WORK IN THIS AREA. CONTRACTOR IS RESPONSIBLE FOR INSTALLING PART WASHERS BACK IN ORIGINAL LOCATIONS AND VERIFY EQUIPMENT IS WORKING AT THE END OF THE PROJECT.
- 15

CONTRACTOR SHALL REMOVE EXISTING EXTERIOR CANOPY, COLUMNS, AND FOOTINGS IN THEIR ENTIRETY.

SPECIFIC NOTES:

SPECIFIC NOTES APPLY TO ISOLATED WORK AREAS AND ARE FOR THE CONVENIENCE OF THE CONTRACTOR. HOWEVER, ALL WORK AREAS ARE NOT NOTED. SHOULD A CONDITION OCCUR THAT IS NOT SPECIFICALLY NOTED, THE CONTRACTOR SHALL PROCEED WITH WORK PER GENERAL NOTES OR A SPECIFIC WORK NOTE USED IN OTHER SIMILAR CONDITIONS, AS APPROVED BY ARCHITECT.

- 1

INSTALL NEW CABINETRY AS SHOWN ON DRAWING SHEET A6.1 AND A6.2 - CONTRACTOR TO PAINT ENTIRE WALLS (CORNER TO CORNER, AND FLOOR TO CEILING) AFFECTED BY DEMOLITION AND NEW CONSTRUCTION.
- 2

INFILL CONCRETE MASONRY WALL UNITS MATCHING EXISTING WIDTH OF WALL UNITS. PROVIDE STRAP ANCHORS AT JAMBS OF MASONRY INFILL UNITS. PAINT ENTIRE INTERIOR WALL OF REAR OFFICE 109 WHERE NEW MASONRY UNITS ARE INSTALLED.
- 3

PROVIDE NEW THERMALLY BROKEN ALUMINUM STOREFRONT WINDOW. COLOR AS SELECTED BY ARCHITECT AND OWNER'S REPRESENTATIVE FROM MANUFACTURER'S STANDARD COLORS. DOUBLE GLAZE PER SPECIFICATIONS. COORDINATE WITH EXISTING CONDITIONS AND WITH NEW EXTERIOR BUILDING FINISHES. PROVIDE 1/2" WIDE TO 3/8" WIDE BACKER ROD AND SEALANT JOINT.
- 4

CONTRACTOR TO PROVIDE NEW ALUMINUM CANOPIES. PROVIDE ROOF DRAINAGE, GUTTERS, DOWNSPOUTS, AND COMPONENTS FOR FULL INSTALLATION. ALUMINUM CANOPIES TO BE 6" WIDER THAN DOOR OPENINGS AND EXTEND 4'-0" FROM FACE OF BUILDING. COORDINATE WITH NEW EXTERIOR WALL FINISH. PROVIDE NEW ALUMINUM FLASHING PER SMACNA AT CONNECTION OF CANOPY TO BUILDING WALL. FASTEN TO EXISTING BUILDING PER REQUIREMENTS OF ALABAMA LICENSED STRUCTURAL ENGINEER. REFER TO DETAIL 1A3.3
- 5

MOUNT FILTER CRUSHER EPOXY BOLT EQUIPMENT TO EXISTING CONCRETE FLOOR.
- 6

MOUNT HYDRAULIC PRESS. EPOXY BOLT EQUIPMENT TO EXISTING CONCRETE FLOOR.
- 7

PATCH EXISTING HOLE IN CMU WALL. PROVIDE INFILL CONCRETE MASONRY WALL UNITS MATCHING EXISTING WIDTH OF WALL UNITS. PROVIDE STRAP ANCHORS AT JAMBS OF MASONRY INFILL UNITS. PAINT ENTIRE INTERIOR AND EXTERIOR WALL OF PARTS ROOM 107 WHERE NEW MASONRY UNITS ARE INSTALLED.
- 8

INFILL EXISTING CONCRETE MASONRY WALL UNITS MATCHING EXISTING WIDTHS OF WALL UNITS. PROVIDE STRAP ANCHORS AT JAMBS OF MASONRY INFILL UNITS. PROVIDE NEW 10X14 ROLL UP DOOR ASSEMBLIES AND NEW 3X1 EGRESS DOOR CENTERED ON WALL INFILL. REFER TO ELEVATIONS AND STRUCTURAL FOR NEW DOOR AND INFILL LOCATIONS. PAINT ENTIRE INTERIOR WALL IN RECEIVING 111 WHERE NEW MASONRY UNITS ARE INSTALLED.
- 9

PAINT EXISTING TO REMAIN BOLLARDS.
- 10

INSTALL NEW 6" CONCRETE FILLED BOLLARD - PAINT.
- 11

PAINT EXISTING TO REMAIN OVERHEAD COILING DOOR FRAME (JAMB AND HEAD). COLORS TO BE SELECTED BY OWNER AND ARCHITECT.
- 12

PAINT ALL EXPOSED STRUCTURAL MEMBERS INCLUDING COLUMNS, ROOF FRAMING, AND PURLINS.
- 13

ALL EXTERIOR CMU TO BE POWER WASHED, TUCK-POINTED AS REQUIRED, PRIMED, AND TO RECEIVE NEW PAINT.
- 14

INSTALL NEW SINK - REFER TO PLUMBING.

- 15

CONTRACTOR TO VERIFY WORKING EXISTING PART WASHERS PRIOR TO MOVEMENT FOR CONSTRUCTION WORK IN THIS AREA. CONTRACTOR IS RESPONSIBLE FOR INSTALLING PART WASHERS BACK IN ORIGINAL LOCATIONS AND VERIFY EQUIPMENT IS WORKING AT THE END OF THE PROJECT.
- 16

CONTRACTOR TO PROVIDE NEW ALUMINUM CANOPY AS SHOWN. FIELD VERIFY EXISTING CONDITIONS AND PROVIDE SHOP DRAWINGS AS REQUIRED.
- 17

CONTRACTOR TO PATCH AND REPAIR EXISTING CMU WHERE EXISTING CANOPY IS DEMOLISHED. FINISHED CMU SHOULD BE SMOOTH FACE AND PREPARED IN ACCORDANCE TO EXTERIOR MASONRY/CONCRETE OPAQUE WATER PROOFING COATING MANUFACTURER'S REQUIREMENTS.
- 18

CONTRACTOR TO REMOVE PORTION OF EXISTING TRENCH DRAIN AND CONCRETE SLAB AS NECESSARY TO INSTALL NEW FOOTINGS FOR EXTERIOR WALLS AND FINISH FLOOR AT EXTERIOR DOOR 131. CONTRACTOR TO MAINTAIN TRENCH DRAIN AT NEW DOOR 105. EXISTING TRENCH DRAIN TO BE MODIFIED TO THE WIDTH OF NEW DOOR 105. EXISTING TRENCH DRAIN GRATE MAY BE REUSED AND MODIFIED TO NEW LENGTH.
- 19

CONTRACTOR TO TEMPORARILY REMOVE EXISTING WIRE CAGING, PROTECT AND STORE ON SITE IN ORDER TO COMPLETE SCOPE OF WORK REQUIRED IN TOOL ROOM 108. REINSTALL WIRE CAGING IN EXISTING LOCATION PRIOR TO FINAL ACCEPTANCE.



SEAY SEAY & LITCHFIELD

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(334) 263-5162

Owner:
The Army Commission of
Alabama
1720 Cong. W. Dabbs Drive
Montgomery, AL 36108
SS&L Job Number
14051

IFB Job Number
AC-22-B-0004-S

Date
JANUARY 2022

Drawn By
CML, SS, TS, DC

Checked By
WRO

Revised
APPENDUM NO. 2

Project Title

NORTHPORT
FMS #9 RENOVATIONS
NORTHPORT, AL

Sheet Title

GENERAL DEMOLITION
NOTES & SPECIFIC NOTES

Sheet Number

A1.0





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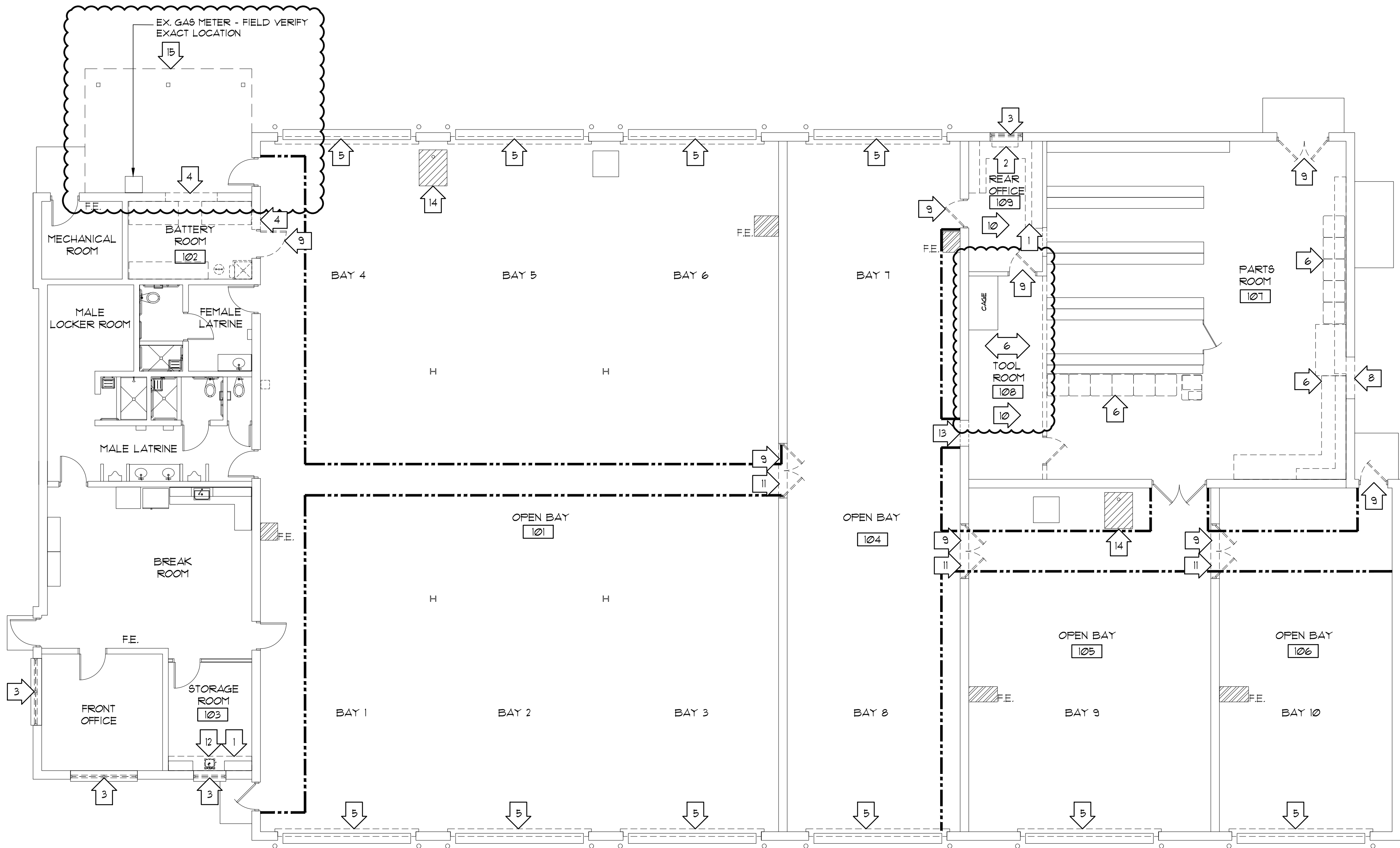
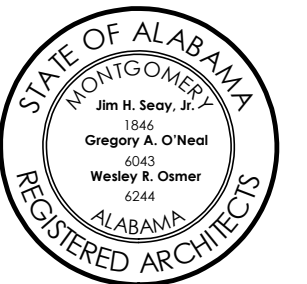
NORTHPORT
FMS #9 RENOVATIONS
NORTHPORT, AL

Sheet Title

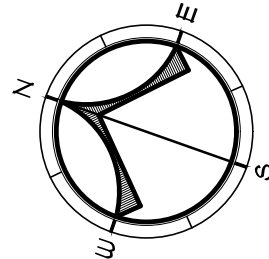
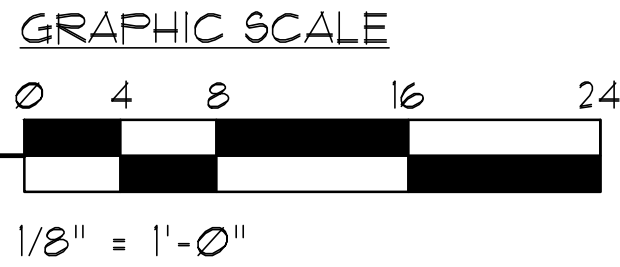
EXISTING FLOOR PLAN
DEMOLITION

Sheet Number

A1.1



1
A1.1
EXISTING FLOOR PLAN - DEMOLITION
SCALE: 1/8"=1'-0"



NOTES

REFER TO A1.0 FOR ALL GENERAL AND SPECIFIC DEMOLITION NOTES THAT APPLY.

LEGEND

ROOM
100

ROOM NAME AND NUMBER

XXX

DOOR TAG.
REFER TO DOOR SCHEDULE

X

SPECIFIC NOTE.
REFER TO A1.0

F.E.

FIRE EXTINGUISHER

EXISTING WALL PARTITION(S) TO BE REMOVED
UNLESS OTHERWISE NOTED, SHORE AS REQUIRED

=====

EXISTING WALL TO REMAIN

EXISTING DOOR TO BE REMOVED

□

EXISTING ELECTRIC WATER COOLER TO REMAIN

EXISTING PAINT STRIPES LINE ON CONCRETE FLOOR

NOTE: THE CONTRACTOR SHALL VERIFY ALL
EXISTING CONDITIONS AND DIMENSIONS.



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Project Title

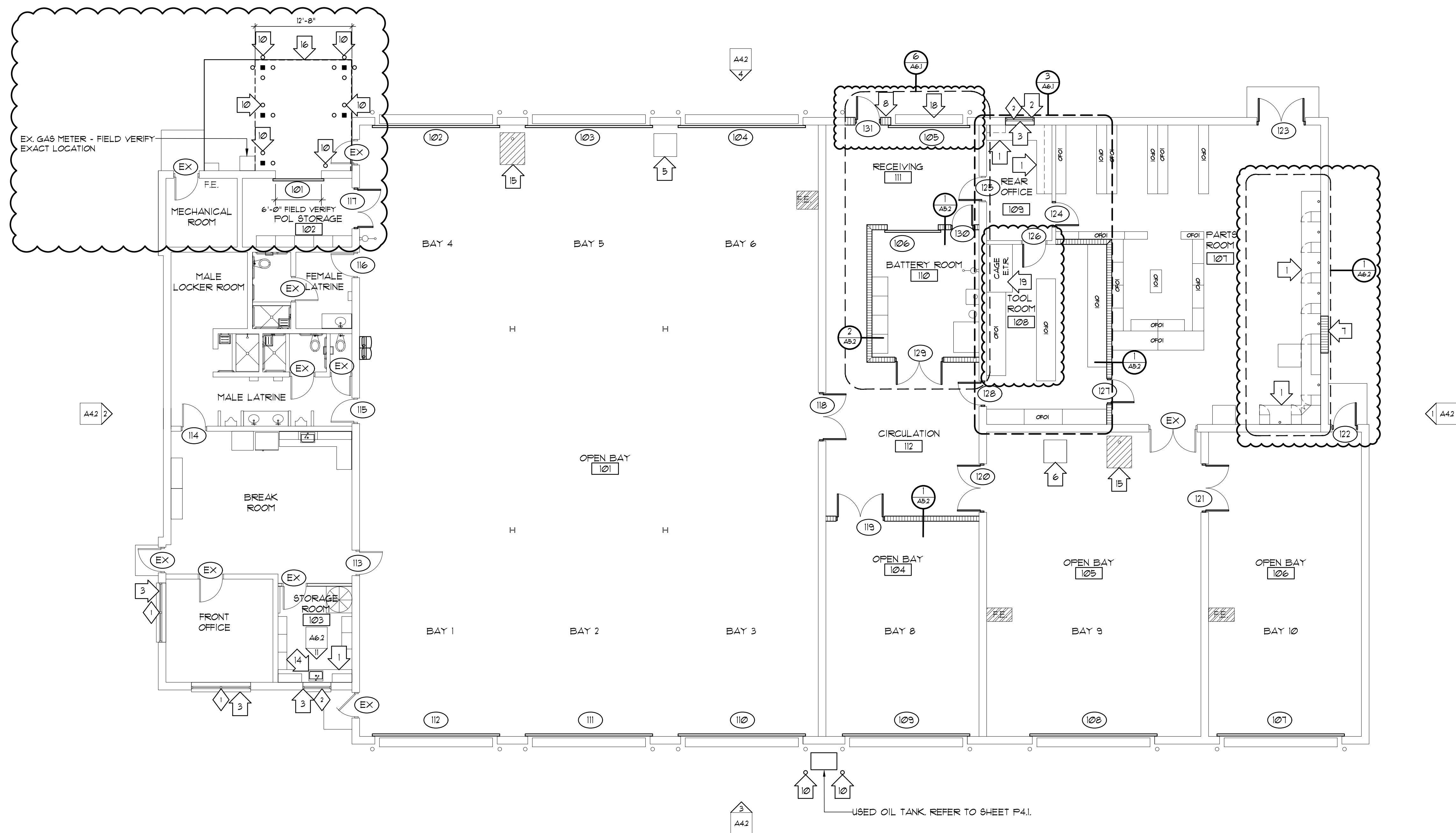
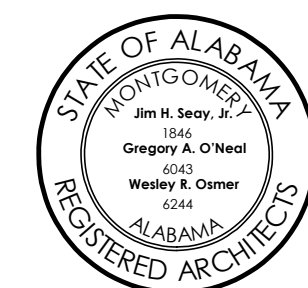
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FMS #9 RENOVATIONS
NORTHPORT, AL

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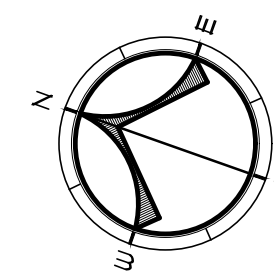
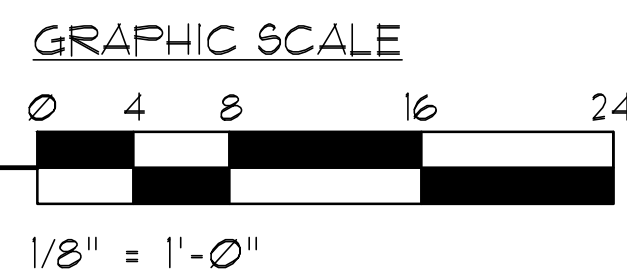
NEW FLOOR PLAN

Sheet Number

A2.1



1
A2.1
NEW FLOOR PLAN
SCALE: 1/8"=1'-0"



NOTES

REFER TO A10 FOR ALL GENERAL AND SPECIFIC
NOTES THAT APPLY.

LEGEND

ROOM 100	ROOM NAME AND NUMBER	XXXX	ELEVATION TAG.	O.F.O.I.	OWNER FURNISHED OWNER INSTALLED
XXX	DOOR TAG. REFER TO DOOR SCHEDULE	XX XXX	WALL SECTION	=====	NEW INTERIOR - CMU WALLS - EXTEND TO UNDERSIDE OF ROOF DECK
4	SPECIFIC NOTE. REFER TO A10	X XX	DETAIL	---	NEW DOOR AND FRAME- SEE DOOR SCHEDULE
FE	FIRE EXTINGUISHER - O.F.O.I.	X XXX	BUILDING SECTION	---	NEW EMERGENCY EYEWASH/SHOWER - SEE PLUMBING
E.T.R.	EXISTING TO REMAIN				

NOTE: THE CONTRACTOR SHALL VERIFY ALL
EXISTING CONDITIONS AND DIMENSIONS.

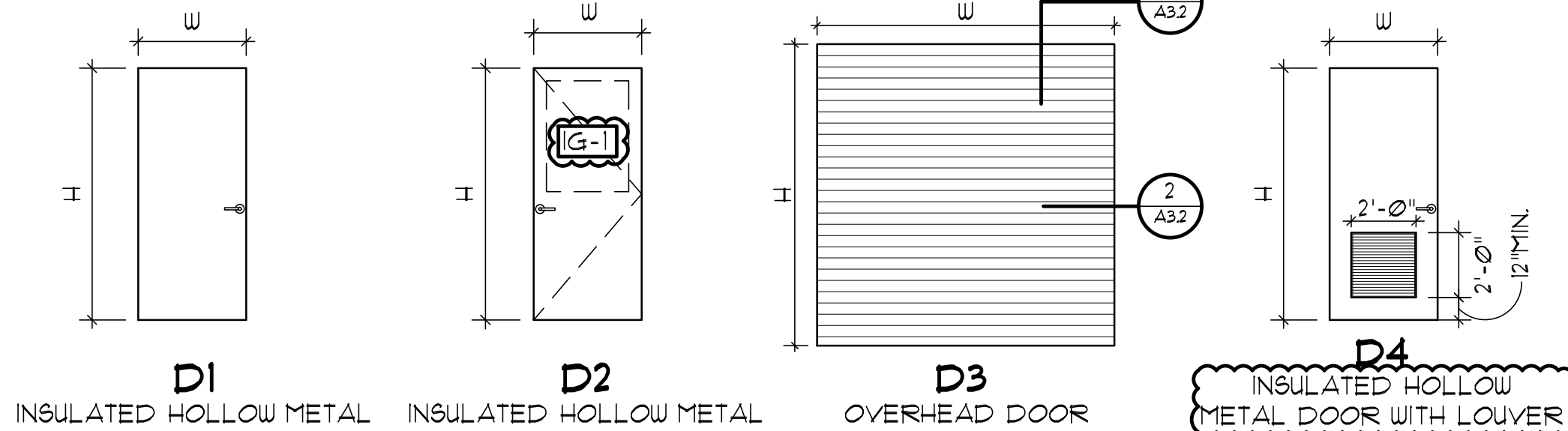
FINISH SCHEDULE					
ROOM NUMBER	ROOM NAME	FLOOR MATERIAL	BASE MATERIAL	WALL MATERIAL & FINISH	CEILING MATERIAL
101	OPEN BAY 1-6	CONCRETE - EXISTING TO REMAIN, NEW SEALED CONCRETE FLOOR	-	EXISTING CMU - NEW PAINT	STEEL / METAL DECKING TO REMAIN - NEW PAINT (DRY FALL)
102	FOL STORAGE	CONCRETE - EXISTING TO REMAIN, NEW SEALED CONCRETE FLOOR	-	EXISTING CMU - NEW PAINT	STEEL / METAL DECKING TO REMAIN - NEW PAINT (DRY FALL)
103	STORAGE ROOM	HARD TILE - EXISTING TO REMAIN	-	EXISTING CMU - NEW PAINT	EXISTING IS TO REMAIN ACOUSTICAL TILE
104	OPEN BAY 8	CONCRETE - EXISTING TO REMAIN, NEW SEALED CONCRETE FLOOR	-	EXISTING/NEW CMU - NEW PAINT	STEEL / METAL DECKING TO REMAIN - NEW PAINT (DRY FALL)
105	OPEN BAY 9	CONCRETE - EXISTING TO REMAIN, NEW SEALED CONCRETE FLOOR	-	EXISTING CMU - NEW PAINT	STEEL / METAL DECKING TO REMAIN - NEW PAINT (DRY FALL)
106	OPEN BAY 10	CONCRETE - EXISTING TO REMAIN, NEW SEALED CONCRETE FLOOR	-	EXISTING CMU - NEW PAINT	STEEL / METAL DECKING TO REMAIN - NEW PAINT (DRY FALL)
107	PARTS ROOM	CONCRETE - EXISTING TO REMAIN, NEW SEALED CONCRETE FLOOR	-	EXISTING/NEW CMU - NEW PAINT	NEW ACOUSTICAL CEILING TILE AND GRID TYPE I
108	TOOL ROOM	REMOVE EXISTING VCT. EXISTING CONCRETE TO REMAIN, NEW SEALED CONCRETE FLOOR	-	EXISTING/NEW CMU - NEW PAINT	NEW ACOUSTICAL CEILING TILE AND GRID TYPE I
109	REAR OFFICE	REMOVE EXISTING VCT. EXISTING CONCRETE TO REMAIN, NEW SEALED CONCRETE FLOOR	-	EXISTING CMU - NEW PAINT	NEW ACOUSTICAL CEILING TILE AND GRID TYPE I
110	BATTERY ROOM	CONCRETE - EXISTING TO REMAIN, NEW SEALANT	-	EXISTING/NEW CMU - NEW PAINT	STEEL / METAL DECKING TO REMAIN - NEW PAINT (DRY FALL)
111	RECEIVING	CONCRETE - EXISTING TO REMAIN, NEW SEALANT	-	EXISTING/NEW CMU - NEW PAINT	STEEL / METAL DECKING TO REMAIN - NEW PAINT (DRY FALL)
112	CIRCULATION	CONCRETE - EXISTING TO REMAIN, NEW SEALANT	-	EXISTING/NEW CMU - NEW PAINT	STEEL / METAL DECKING TO REMAIN - NEW PAINT (DRY FALL)

DOOR, OPENING AND FRAME SCHEDULE

DOOR NUMBER	OPENING SIZE			DOOR TYPE	FRAME TYPE	NO. OF LEAVES	HEAD DETAIL	JAMB DETAIL	NOTES	FIRE RATING
	W	H	T							
101	6'-0"	8'-0"	-	D3	-	1	5/A3.2	3/A3.2	ROLL-UP DOOR. FIELD VERIFY DOOR WIDTH WITH EXISTING CONDITIONS	-
102	16'-0"	14'-0"	-	D3	ETR	1	4/A3.2	2/A3.2	1. 2. ROLL-UP DOOR. COORDINATE WITH EXISTING OPENING AND HEIGHT	-
103	16'-0"	14'-0"	-	D3	ETR	1	4/A3.2	2/A3.2	1. 2. ROLL-UP DOOR. COORDINATE WITH EXISTING OPENING AND HEIGHT	-
104	16'-0"	14'-0"	-	D3	ETR	1	4/A3.2	2/A3.2	1. 2. ROLL-UP DOOR. COORDINATE WITH EXISTING OPENING AND HEIGHT	-
105	10'-0"	14'-0"	-	D3	-	1	2/A3.3, 5/A3.2	1/A3.3, 3/A3.2	2. ROLL-UP DOOR.	-
106	6'-8"	10'-0"	-	D3	-	1	2/A3.3	1/A3.3	ROLL-UP DOOR.	-
107	16'-0"	14'-0"	-	D3	ETR	1	4/A3.2	2/A3.2	1. 2. ROLL-UP DOOR. COORDINATE WITH EXISTING OPENING AND HEIGHT	-
108	16'-0"	14'-0"	-	D3	ETR	1	4/A3.2	2/A3.2	1. 2. ROLL-UP DOOR. COORDINATE WITH EXISTING OPENING AND HEIGHT	-
109	16'-0"	14'-0"	-	D3	ETR	1	4/A3.2	2/A3.2	1. 2. ROLL-UP DOOR. COORDINATE WITH EXISTING OPENING AND HEIGHT	-
110	16'-0"	14'-0"	-	D3	ETR	1	4/A3.2	2/A3.2	1. 2. ROLL-UP DOOR. COORDINATE WITH EXISTING OPENING AND HEIGHT	-
111	16'-0"	14'-0"	-	D3	ETR	1	4/A3.2	2/A3.2	1. 2. ROLL-UP DOOR. COORDINATE WITH EXISTING OPENING AND HEIGHT	-
112	16'-0"	14'-0"	-	D3	ETR	1	4/A3.2	2/A3.2	1. 2. ROLL-UP DOOR. COORDINATE WITH EXISTING OPENING AND HEIGHT	-
113	ETR	ETR	-	ETR	ETR	ETR	ETR	ETR	3. REPLACE OLD HARDWARE TO NEW HARDWARE/ SEE SPECIFICATION SECTION 08 1100.	-
114	ETR	ETR	-	ETR	ETR	ETR	ETR	ETR	3. REPLACE OLD HARDWARE TO NEW HARDWARE/ SEE SPECIFICATION SECTION 08 1100.	-
115	ETR	ETR	-	ETR	ETR	ETR	ETR	ETR	3. REPLACE OLD HARDWARE TO NEW HARDWARE/ SEE SPECIFICATION SECTION 08 1100.	-
116	ETR	ETR	-	ETR	ETR	ETR	ETR	ETR	3. REPLACE OLD HARDWARE TO NEW HARDWARE/ SEE SPECIFICATION SECTION 08 1100.	-
117	5'-0"	7'-0"	2"	D1	F2	2	1/A3.2 SIM.	1/A3.2	ENSURE ONE OF THE DOORS IS 3'-0" DOOR AND THE OTHER DOOR IS 2'-0" DOOR. SEE FLOOR PLAN.	-
118	6'-0"	9'-0"	2"	D1	F2	2	1/A3.2 SIM.	1/A3.2		-
119	6'-0"	9'-0"	2"	D1	F2	2	1/A3.2 SIM.	1/A3.2		-
120	6'-0"	9'-0"	2"	D1	F2	2	1/A3.2 SIM.	1/A3.2		-
121	6'-0"	9'-0"	2"	D1	F2	2	1/A3.2 SIM.	1/A3.2		-
122	3'-0"	7'-0"	2"	D2	F1	1	1/A3.2 SIM.	1/A3.2		-
123	6'-0"	7'-0"	2"	D1	F2	2	1/A3.2 SIM.	1/A3.2		-
124	3'-0"	7'-0"	2"	D2	F1	1	1/A3.2 SIM.	1/A3.2		-
125	3'-0"	7'-0"	2"	D2	F1	1	1/A3.2 SIM.	1/A3.2		-
126	3'-0"	7'-0"	2"	D1	F1	1	1/A3.2 SIM.	1/A3.2		-
127	3'-0"	7'-0"	2"	D1	F1	1	1/A3.2 SIM.	1/A3.2		-
128	3'-0"	7'-0"	2"	D1	F1	1	1/A3.2 SIM.	1/A3.2		-
129	6'-0"	7'-0"	2"	D1	F2	2	1/A3.2 SIM.	1/A3.2		-
130	3'-0"	7'-0"	2"	D4	F1	1	1/A3.2 SIM.	1/A3.2	UNDERCUT DOOR 3/4", 24 X 24 LOUVER THROUGH DOOR	-
131	3'-0"	7'-0"	2"	D2	F1	1	1/A3.2 SIM.	1/A3.2		-

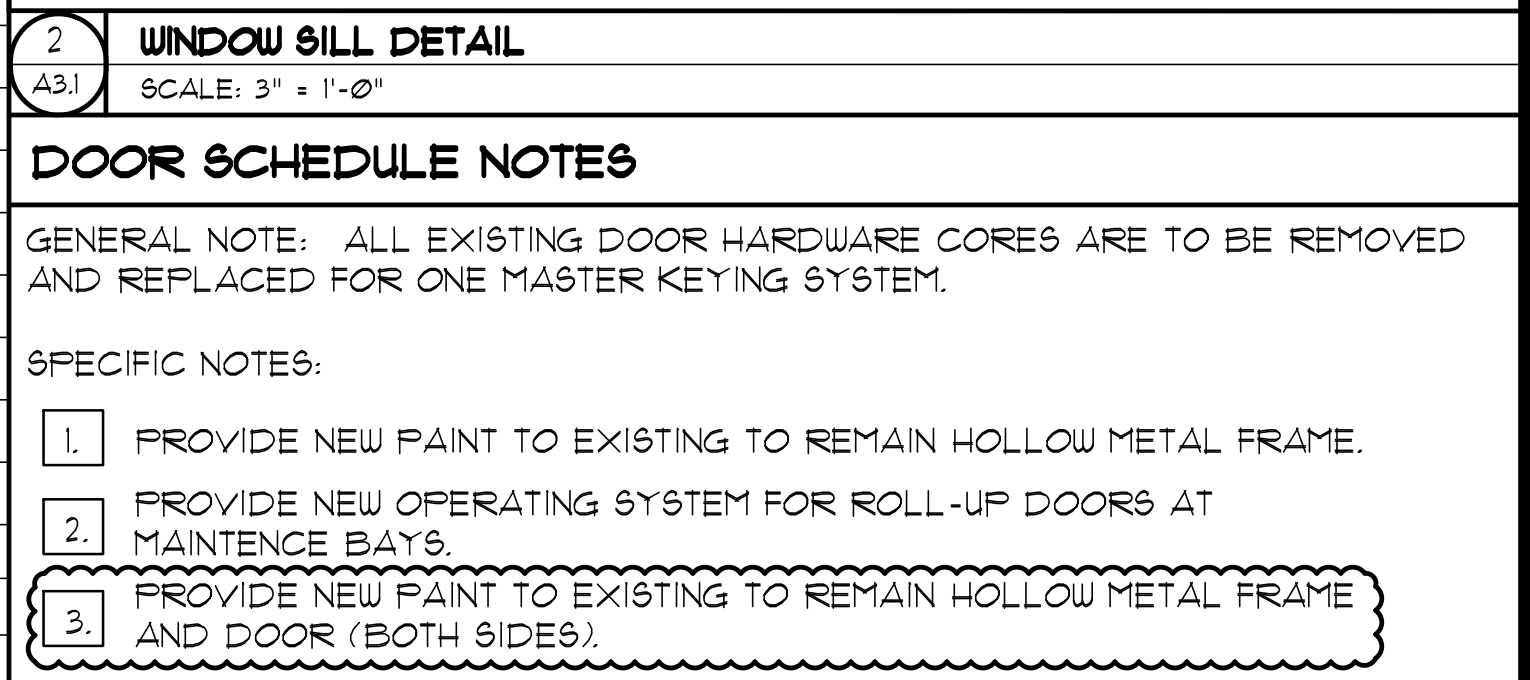
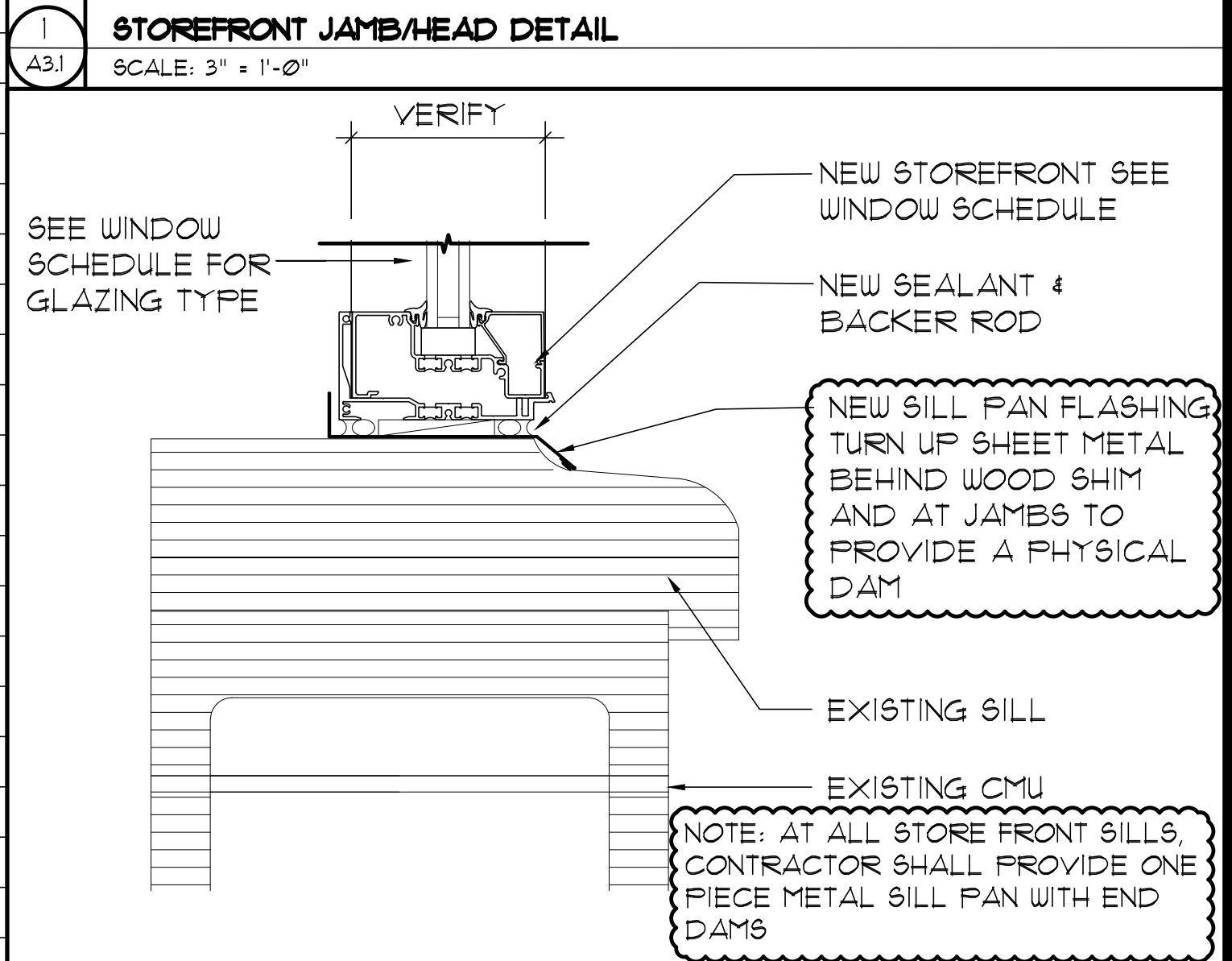
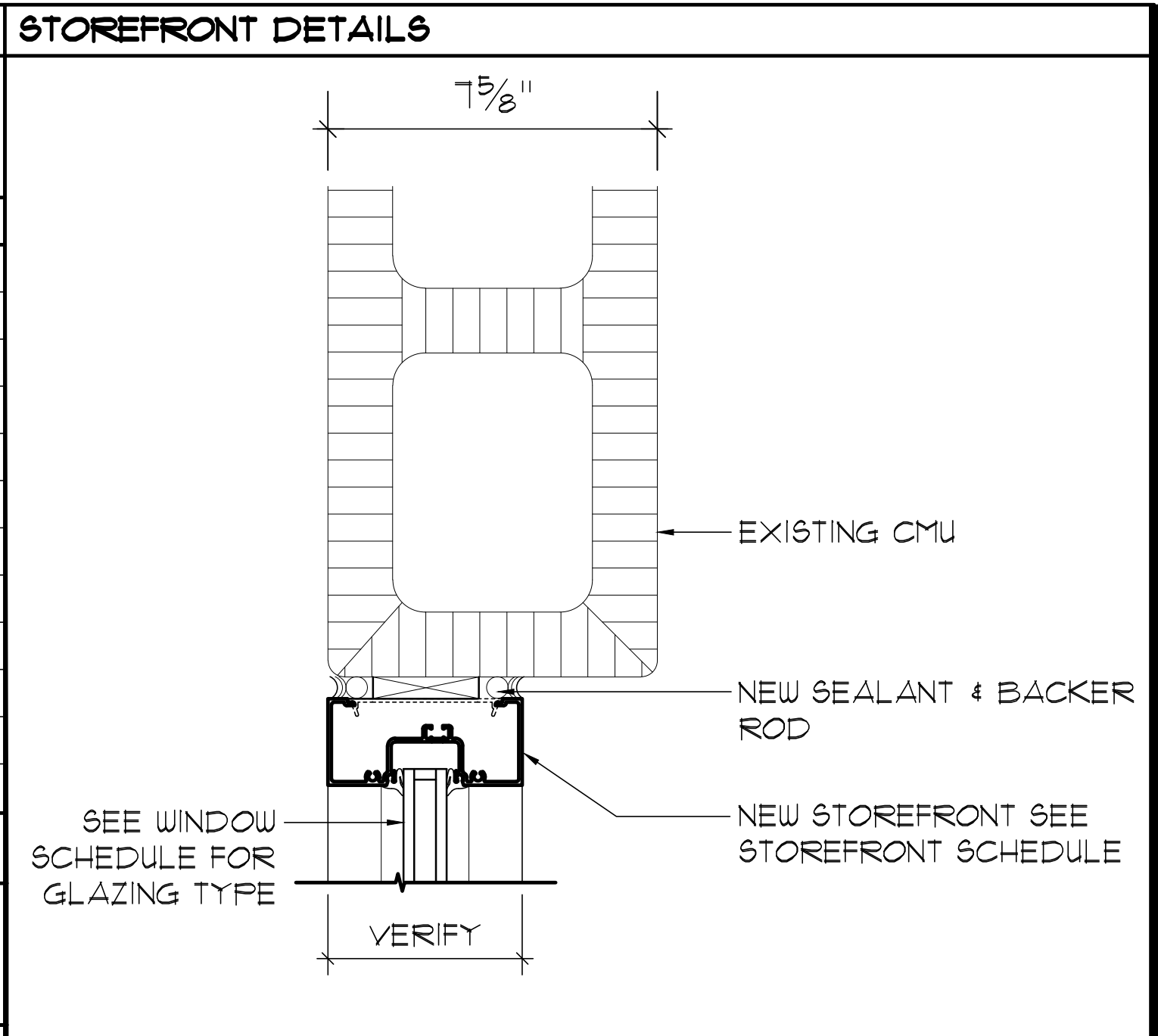
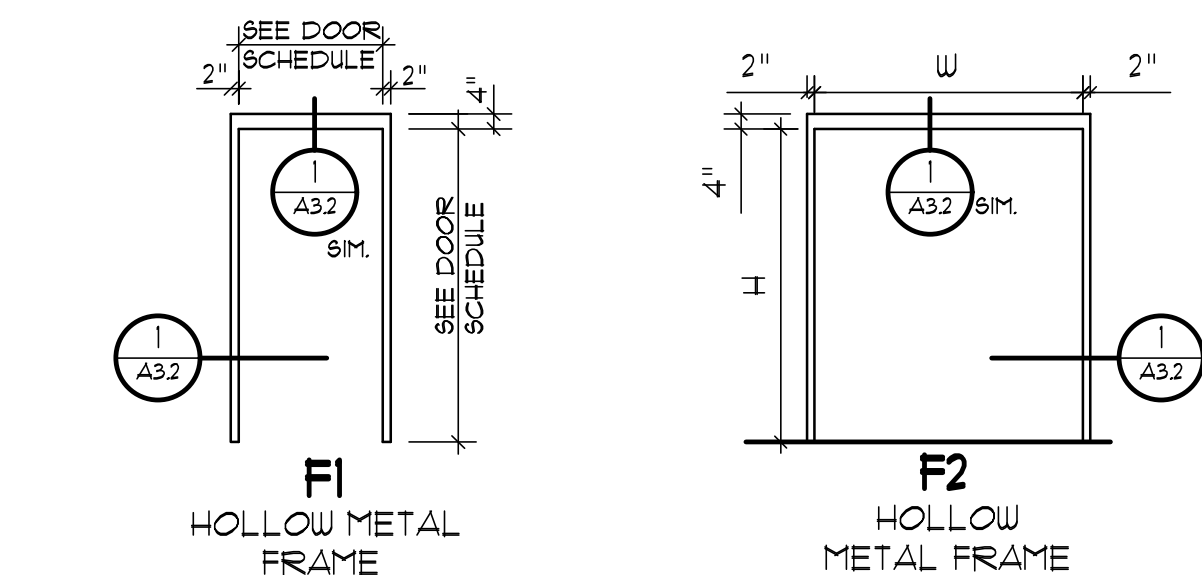
DOOR TYPES

GENERAL NOTE: CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS PRIOR TO BEGINNING ANY WORK. COORDINATE ALL OPENINGS WITH DOOR SCHEDULE.



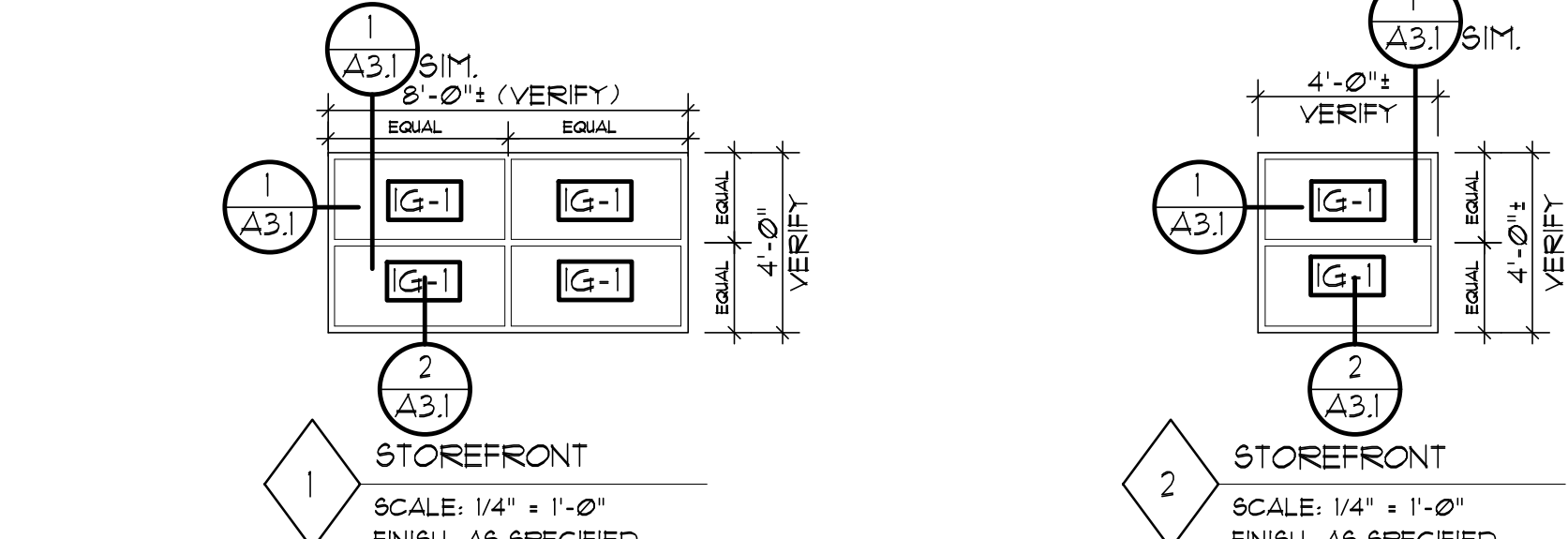
FRAME TYPES

GENERAL NOTE: CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS PRIOR TO BEGINNING ANY WORK. COORDINATE ALL OPENINGS WITH DOOR SCHEDULE.



WINDOW/STOREFRONT SCHEDULE

GENERAL NOTE: CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS PRIOR TO BEGINNING ANY WORK. COORDINATE ALL OPENINGS WITH WINDOW/STOREFRONT SCHEDULE.



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ADDENDUM NO. 2

Project Title

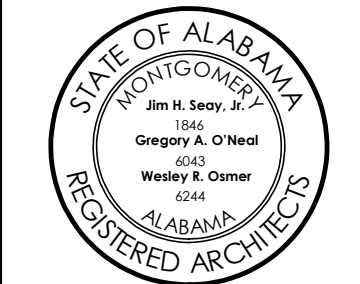
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FMS #9 RENOVATIONS
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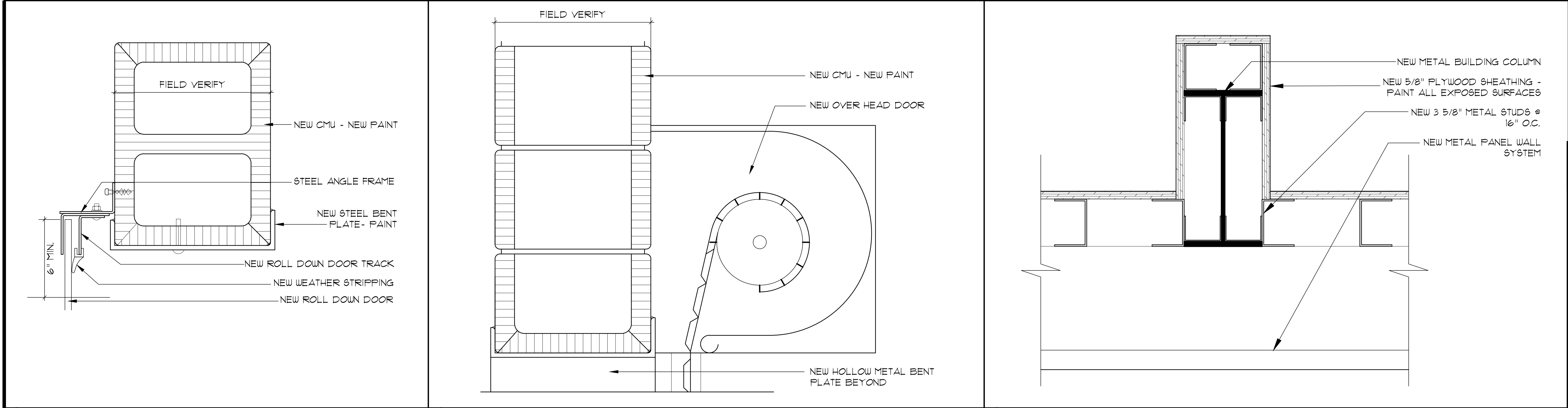
Sheet Title

FINISH SCHEDULE,
DOOR SCHEDULE,
& WINDOW SCHEDULE

Sheet Number

A3.1

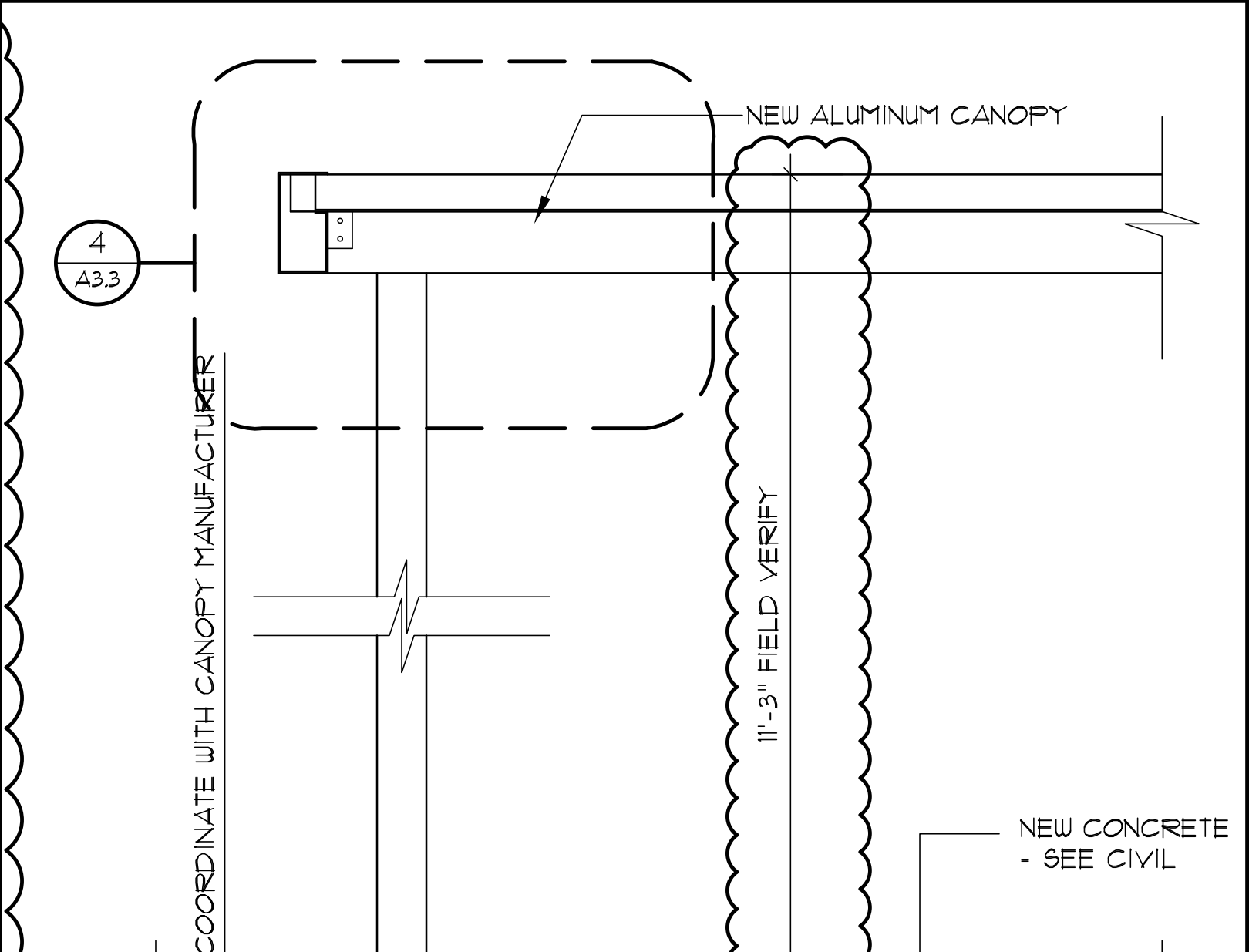
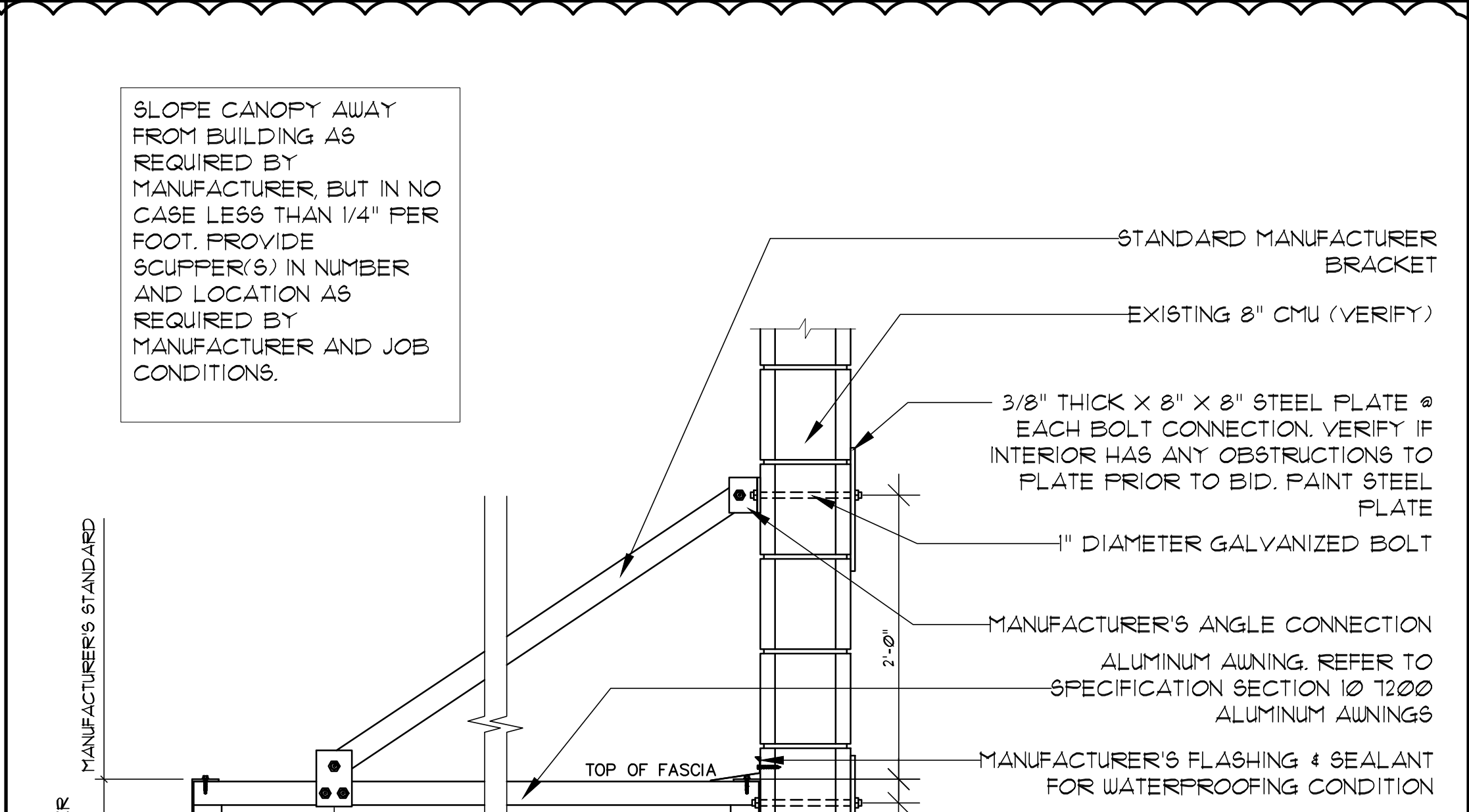
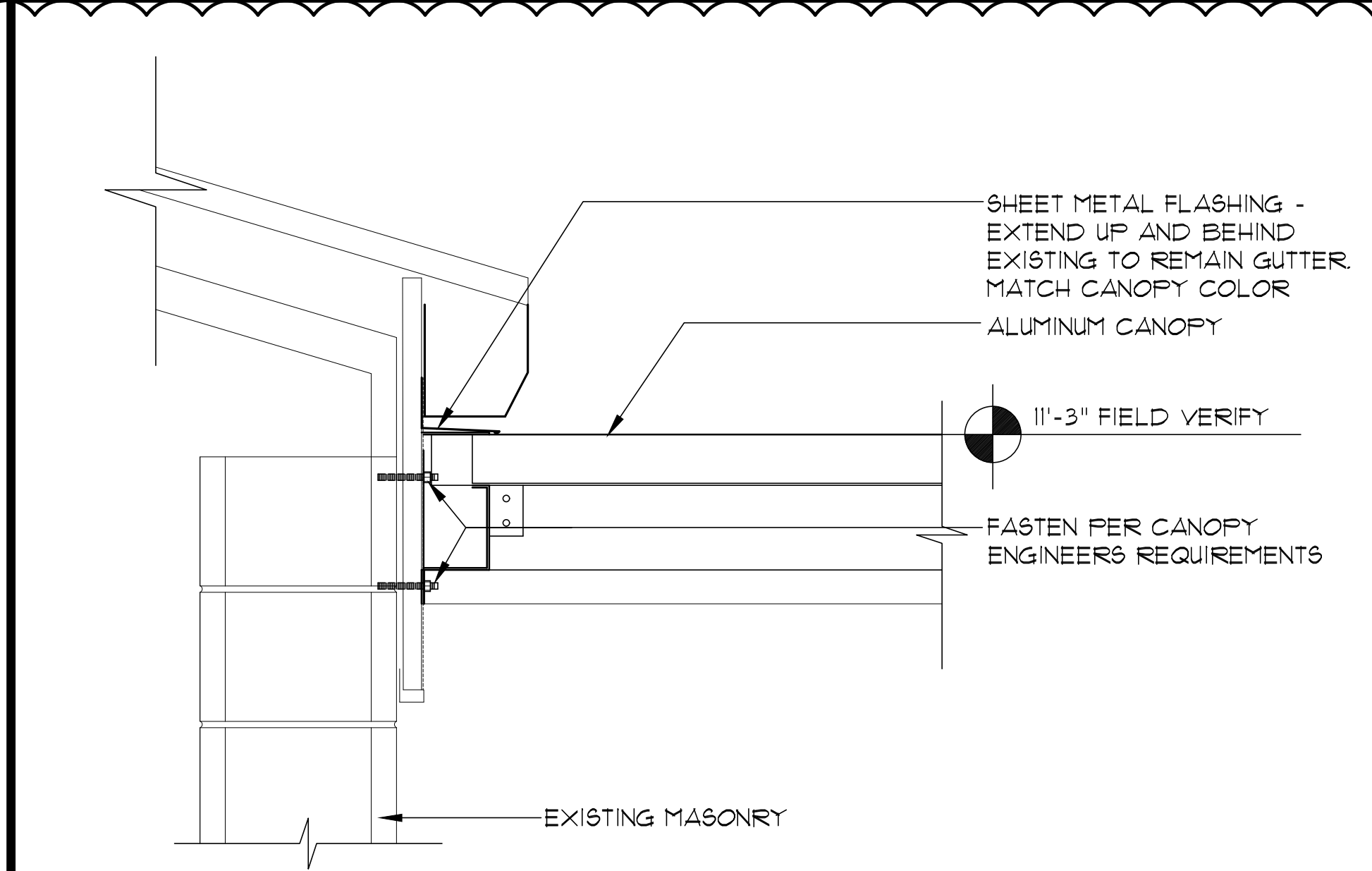




1 NEW ROLLING DOOR, FRAME, AND NEW WALL DETAIL
A3.3 SCALE: 3" = 1'-0"

2 NEW ROLLING DOOR, FRAME, AND NEW WALL - HEAD DETAIL
A3.3 SCALE: 3" = 1'-0"

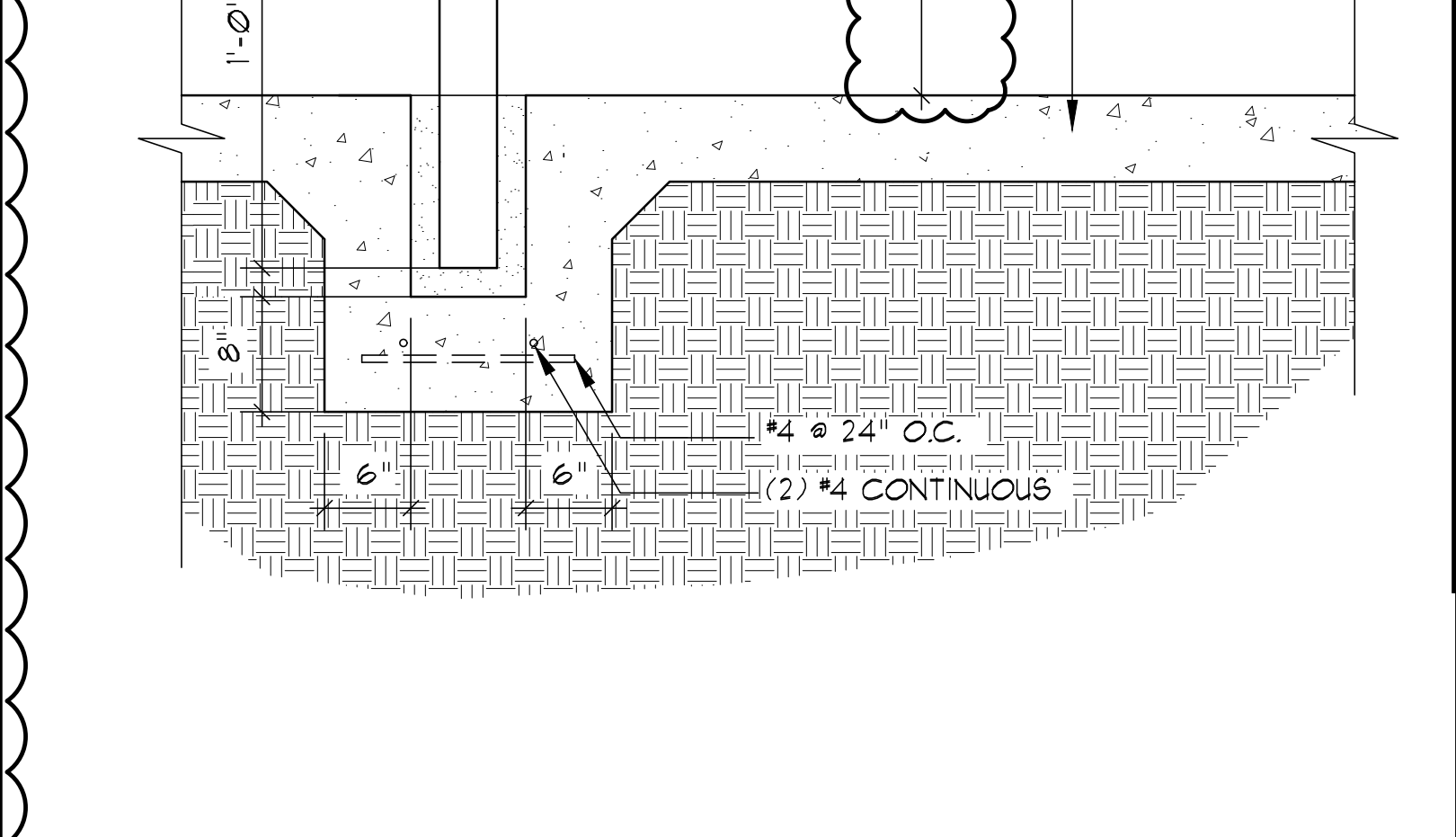
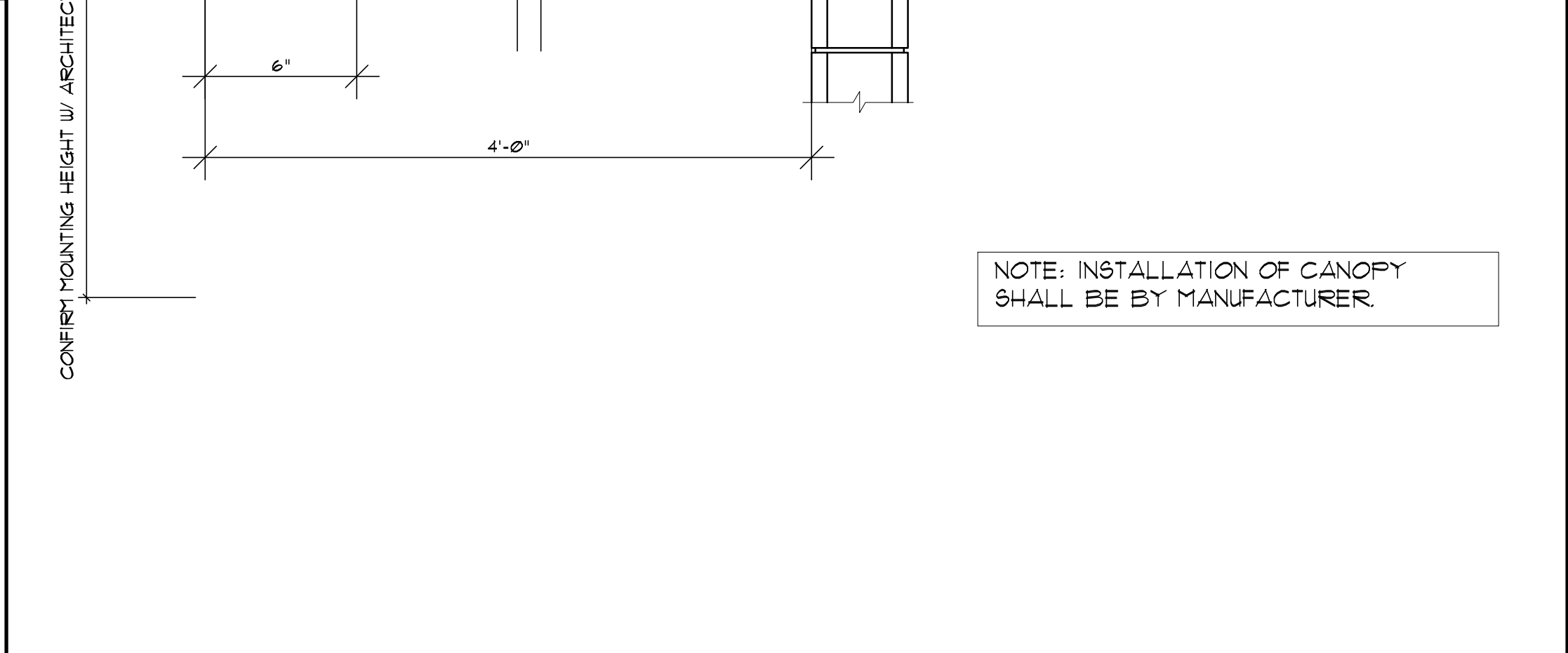
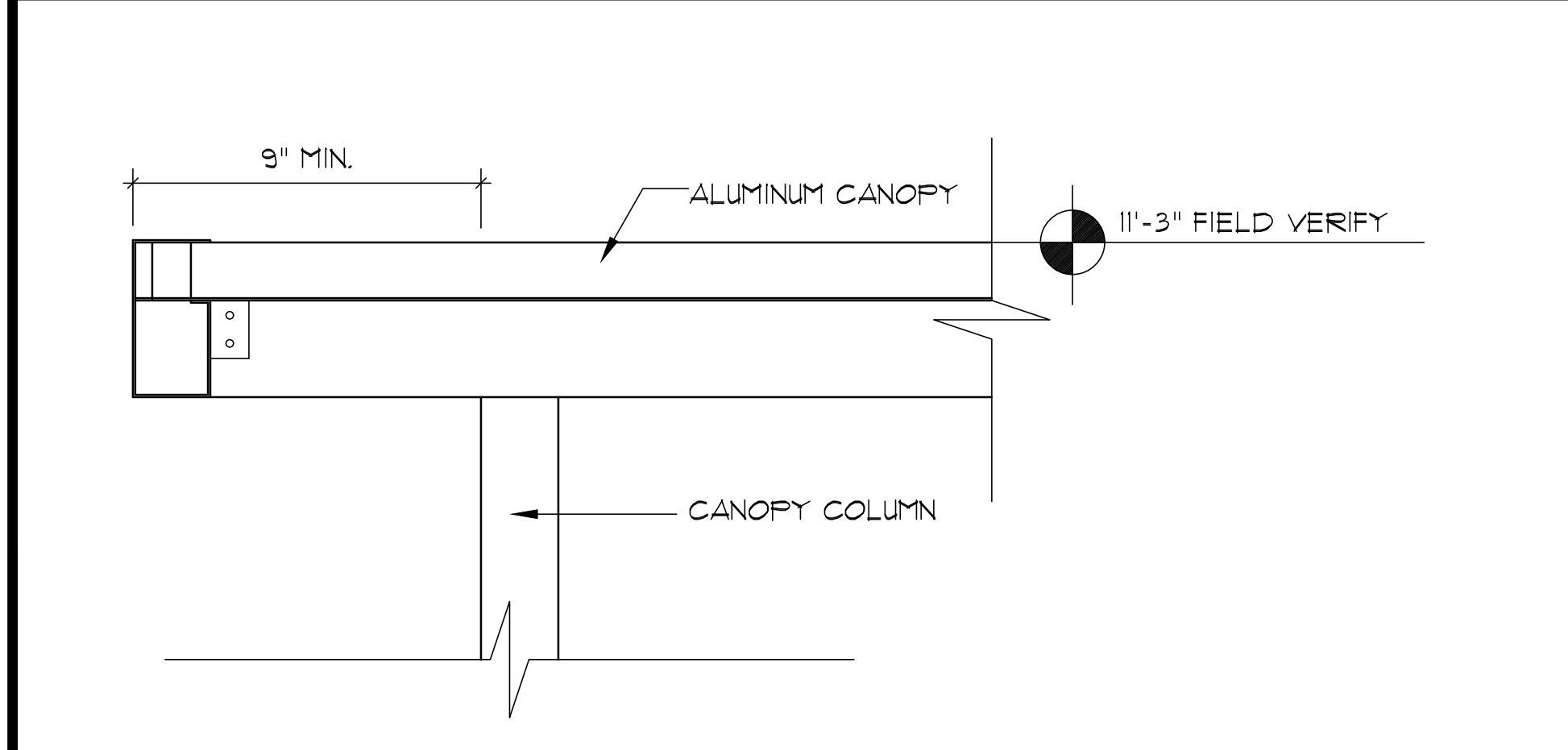
5 PLYWOOD SHEATHING COLUMN WRAP DETAIL
A3.3 SCALE: 3" = 1'-0"



3 CANOPY DETAIL
A3.3 SCALE: 1 1/2" = 1'-0"

7 TYPICAL CANOPY SECTION
A3.3 SCALE: 1 1/2" = 1'-0"

6 CANOPY FOOTING DETAIL
A3.3 SCALE: 1" = 1'-0"



4 CANOPY DETAIL
A3.3 SCALE: 1 1/2" = 1'-0"

7 TYPICAL CANOPY SECTION
A3.3 SCALE: 1 1/2" = 1'-0"

6 CANOPY FOOTING DETAIL
A3.3 SCALE: 1" = 1'-0"



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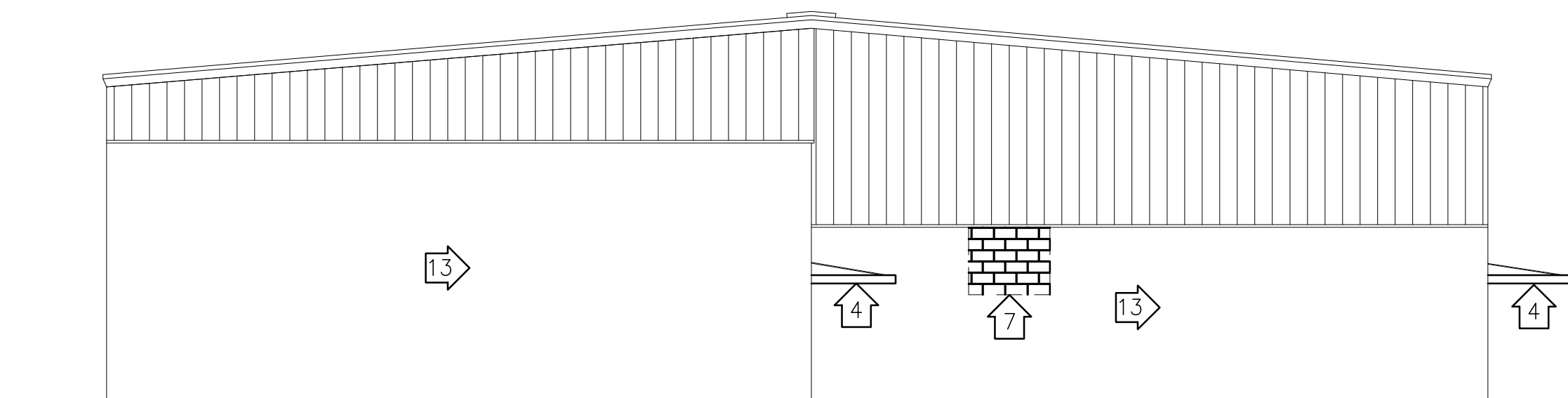
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DETAILS

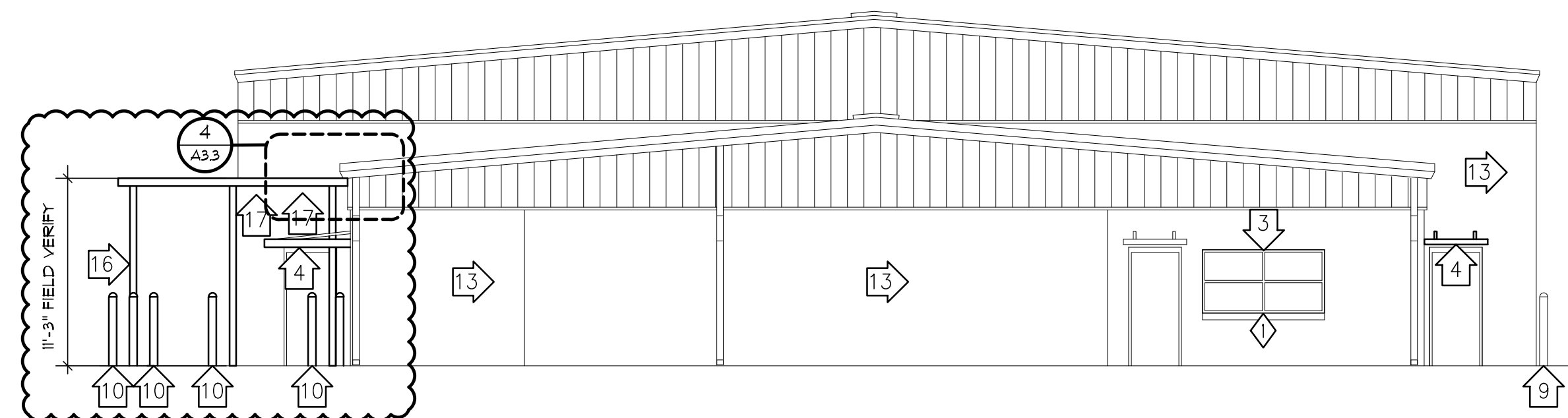
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A3.3

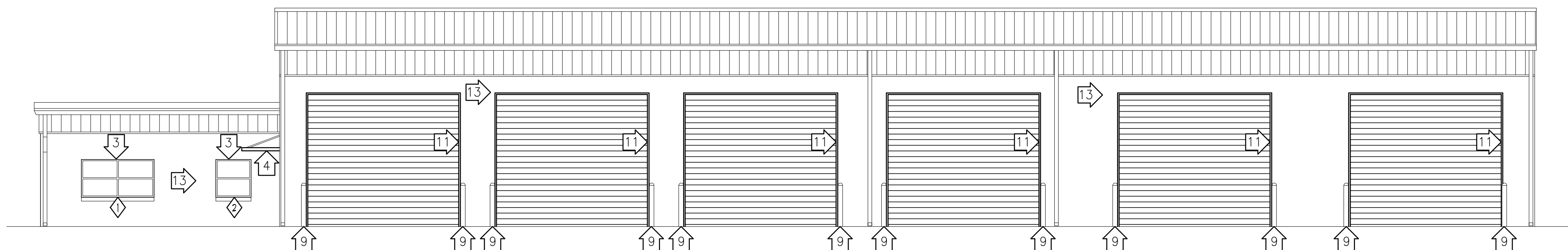




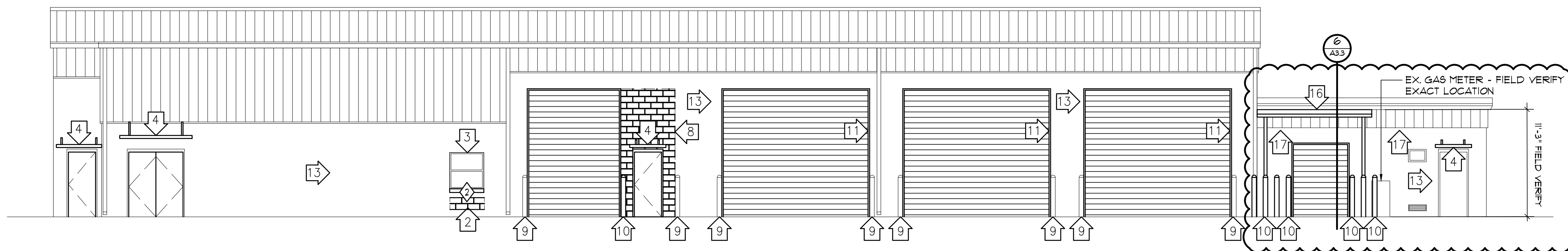
1 NEW SOUTH ELEVATION
A4.2 SCALE: 1/8"=1'-0"



2 NEW NORTH ELEVATION
A4.2 SCALE: 1/8"=1'-0"



3 NEW WEST ELEVATION
A4.2 SCALE: 1/8"=1'-0"



4 NEW EAST ELEVATION
A4.2 SCALE: 1/8"=1'-0"

NOTES

REFER TO A1.0 FOR ALL GENERAL AND SPECIFIC NOTES THAT APPLY.

GRAPHIC SCALE



1/8" = 1'-0"



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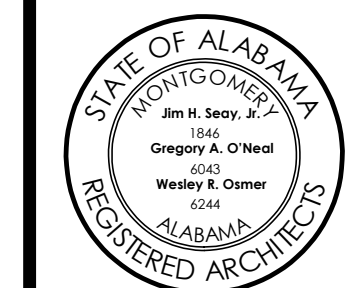
NORTHPORT
FMS #9 RENOVATIONS
NORTHPORT, AL

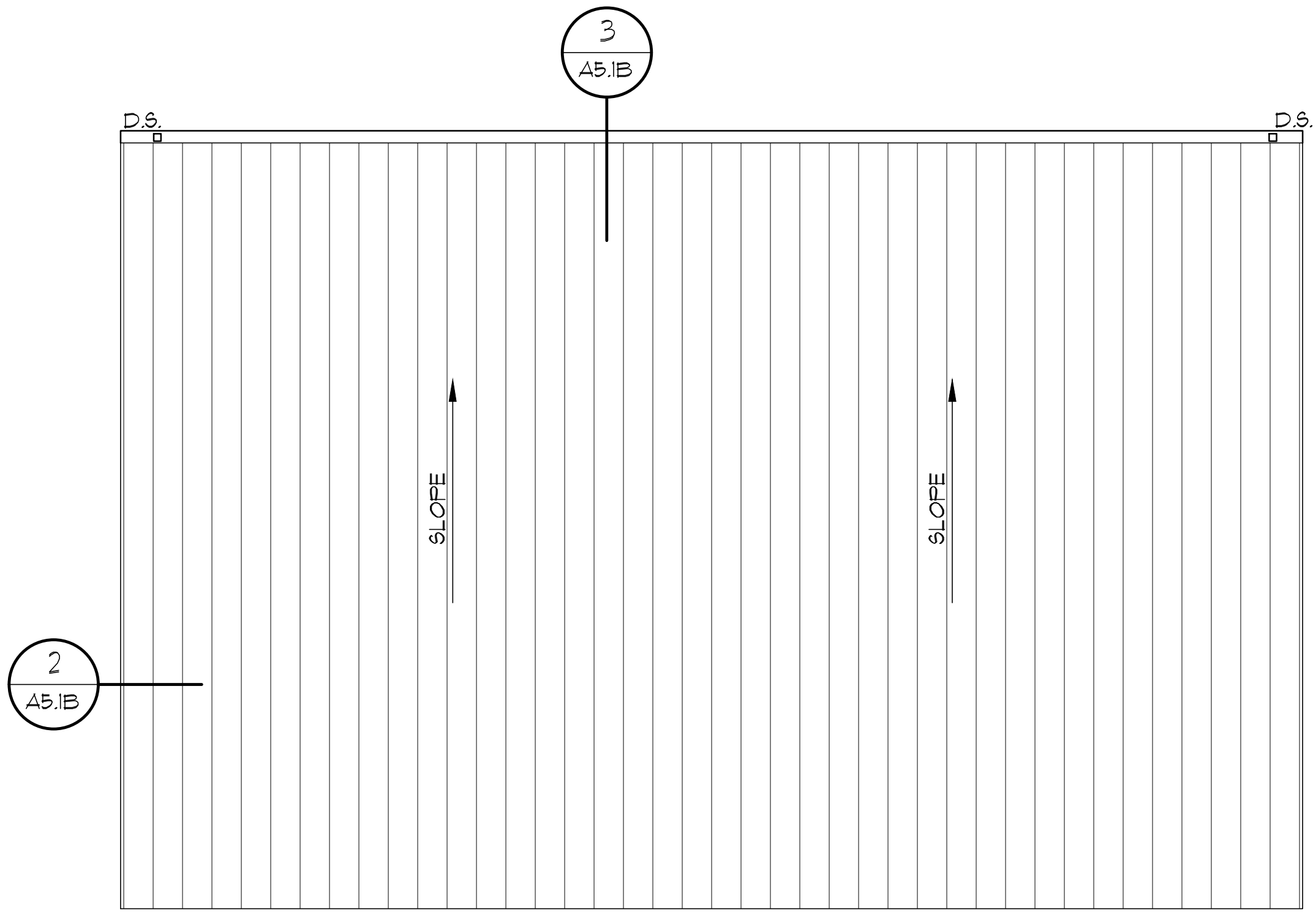
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NEW ELEVATIONS

Sheet Number

A4.2

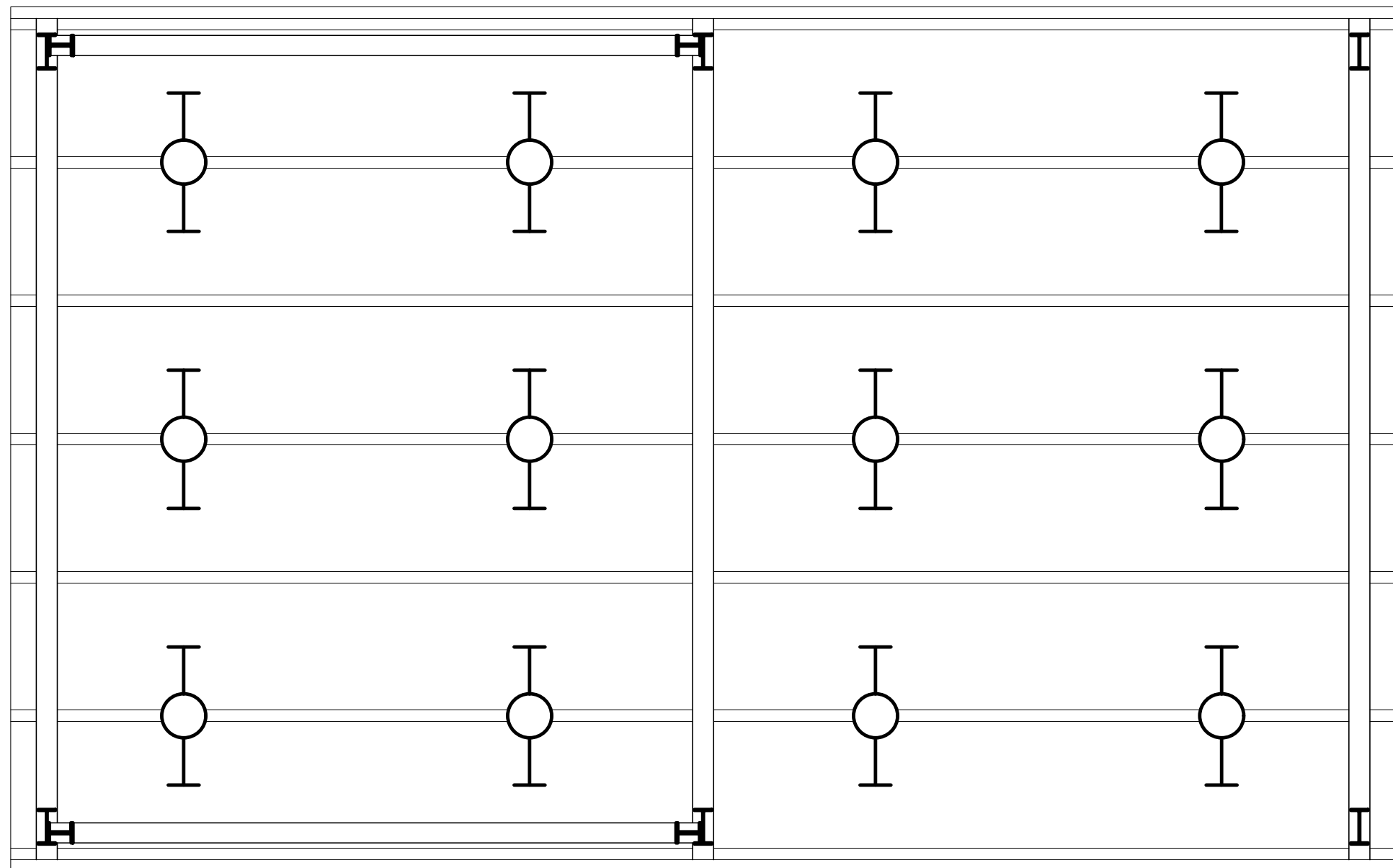
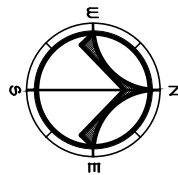




1
A5.1C

NEW WASH RACK SECTION

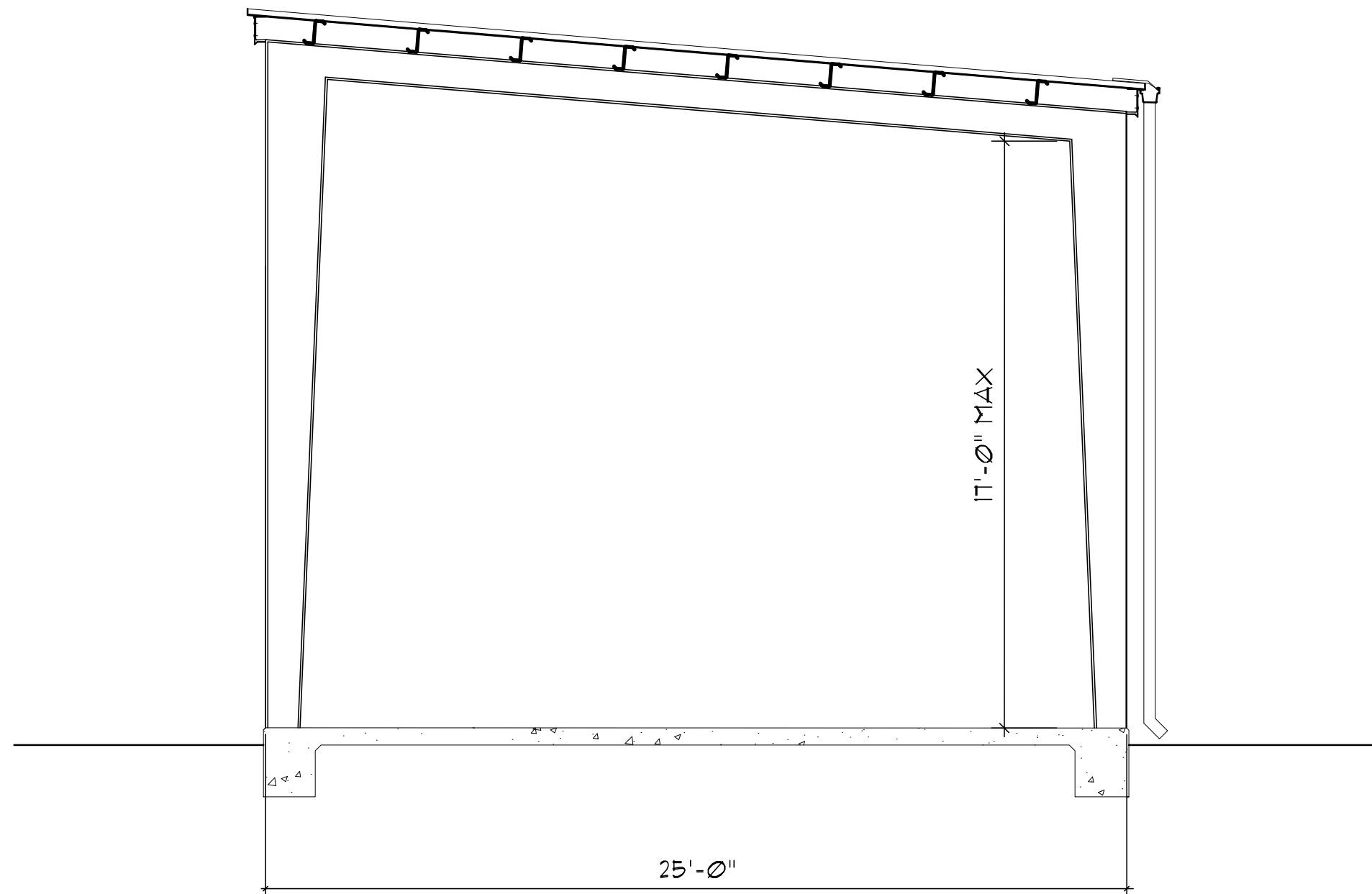
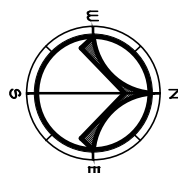
SCALE: 1/4"=1'-0"



3
A5.1C

NEW WASH RACK REFLECTED CEILING PLAN

SCALE: 1/4"=1'-0"



2
A5.1C

NEW WASH RACK SECTION

SCALE: 1/4"=1'-0"

GENERAL NOTES

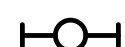
- 1.) PAINT ALL EXPOSED STRUCTURAL MEMBERS INCLUDING COLUMNS, ROOF FRAMING, AND PURLING.
- 2.) REFER TO A10 FOR ALL GENERAL AND SPECIFIC NOTES THAT APPLY.

LEGEND

ROOM

100

ROOM NAME AND NUMBER



NEW PENDANT LINEAR LIGHT FIXTURE
- SEE ELECTRICAL



DETAIL



D.S. DOWNSPOUTS



SPECIFIC NOTES.

NOTE: THE CONTRACTOR SHALL VERIFY ALL
EXISTING CONDITIONS AND DIMENSIONS.



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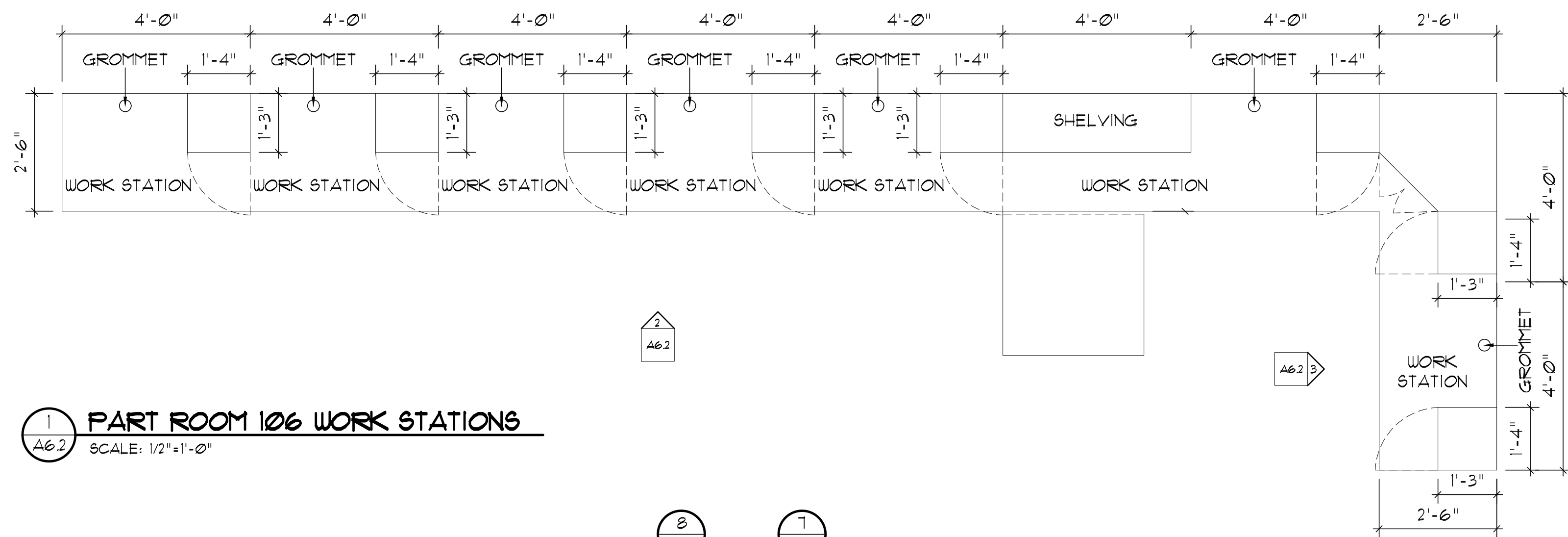
NEW WASH RACK ROOF
PLAN & SECTION -
BID ITEM A ALTERNATE
NO. 1

Sheet Number

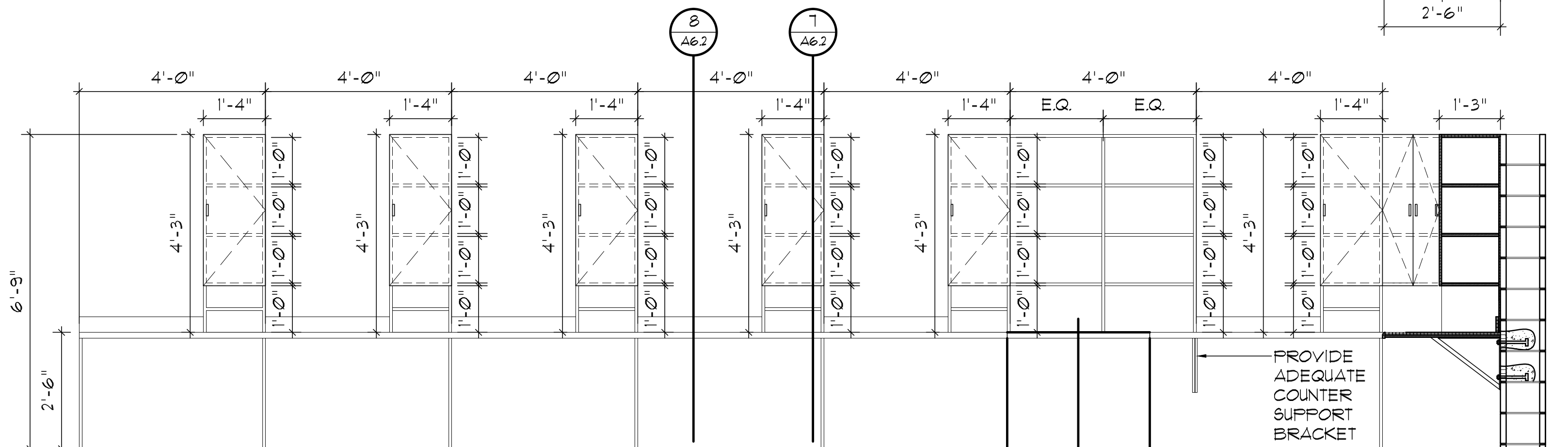
A5.1C



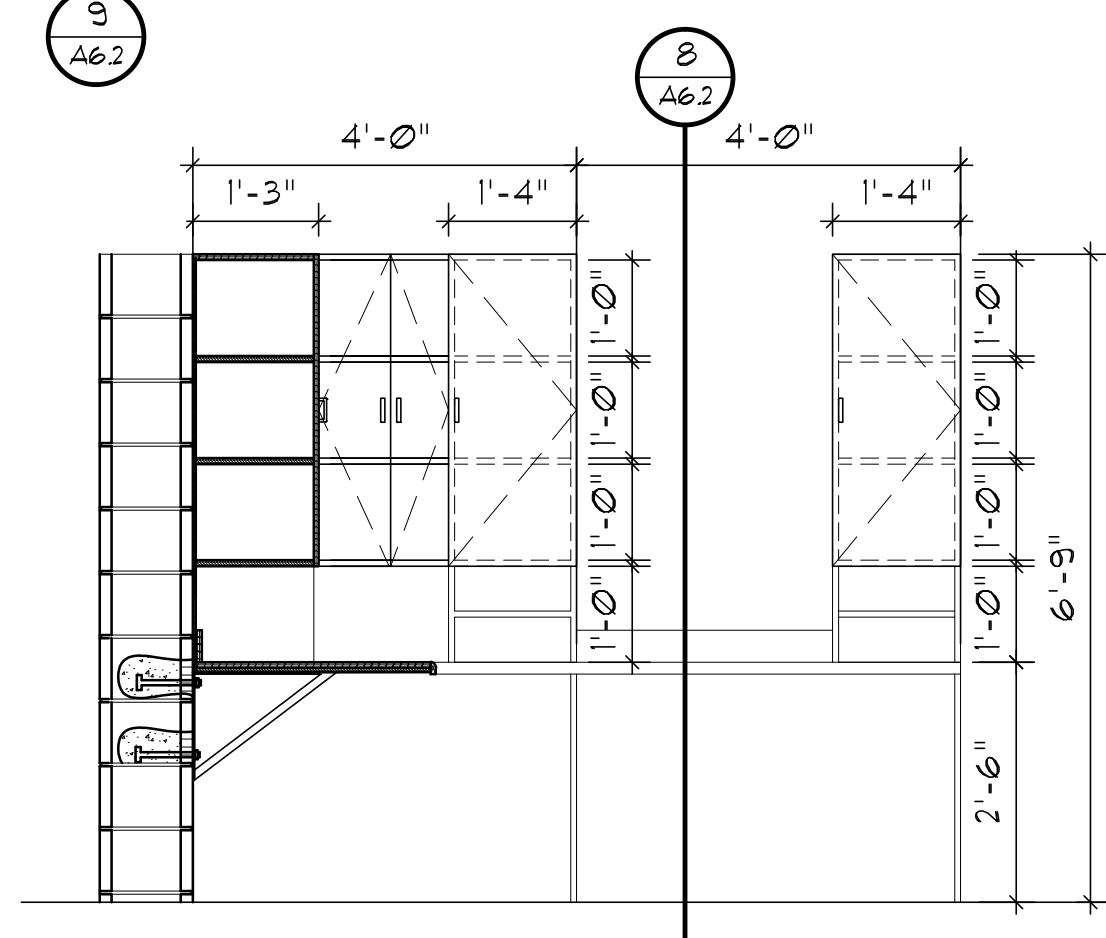




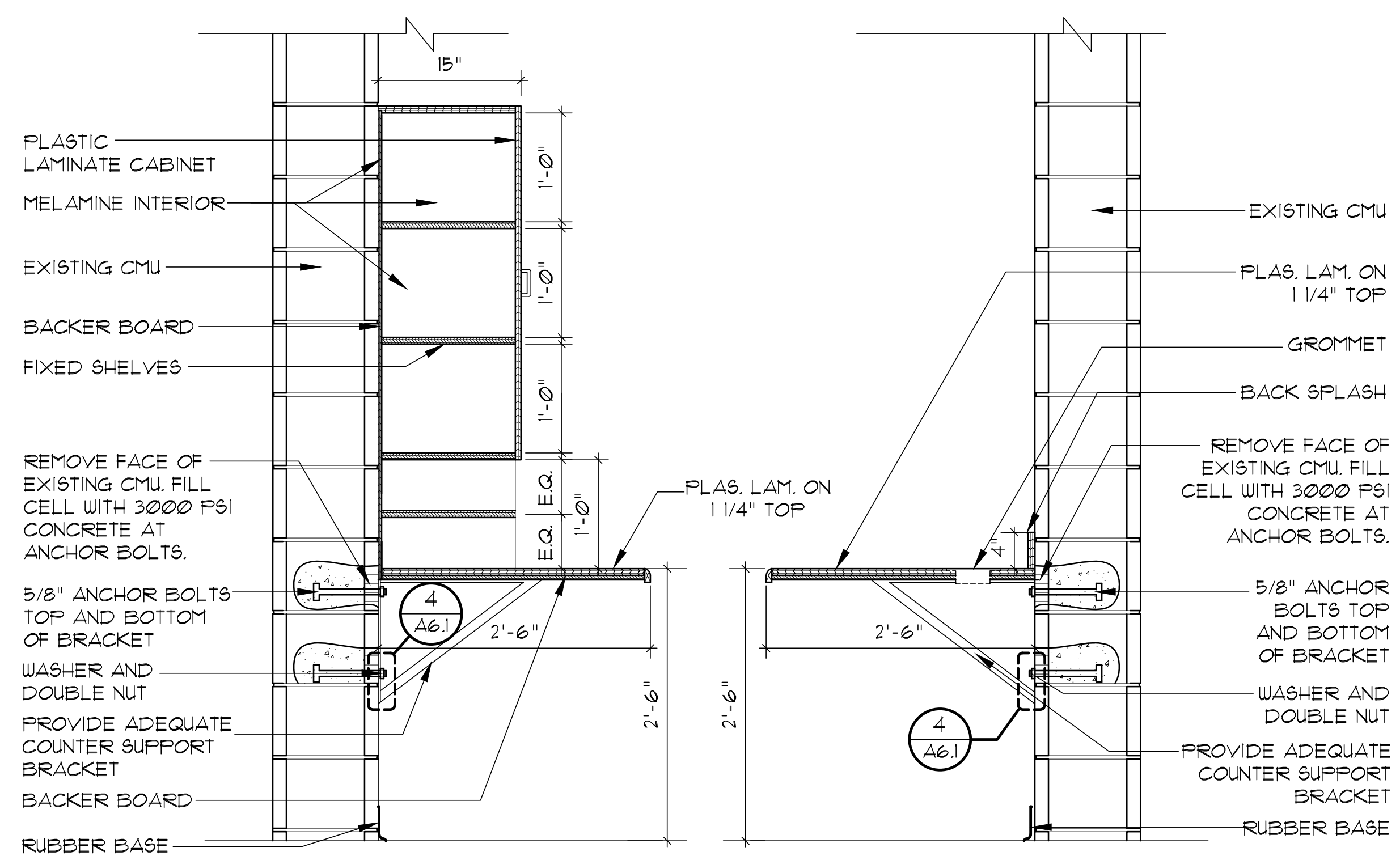
1 PART ROOM 106 WORK STATIONS
SCALE: 1/2"=1'-0"



2 ELEVATION
SCALE: 1/2"=1'-0"

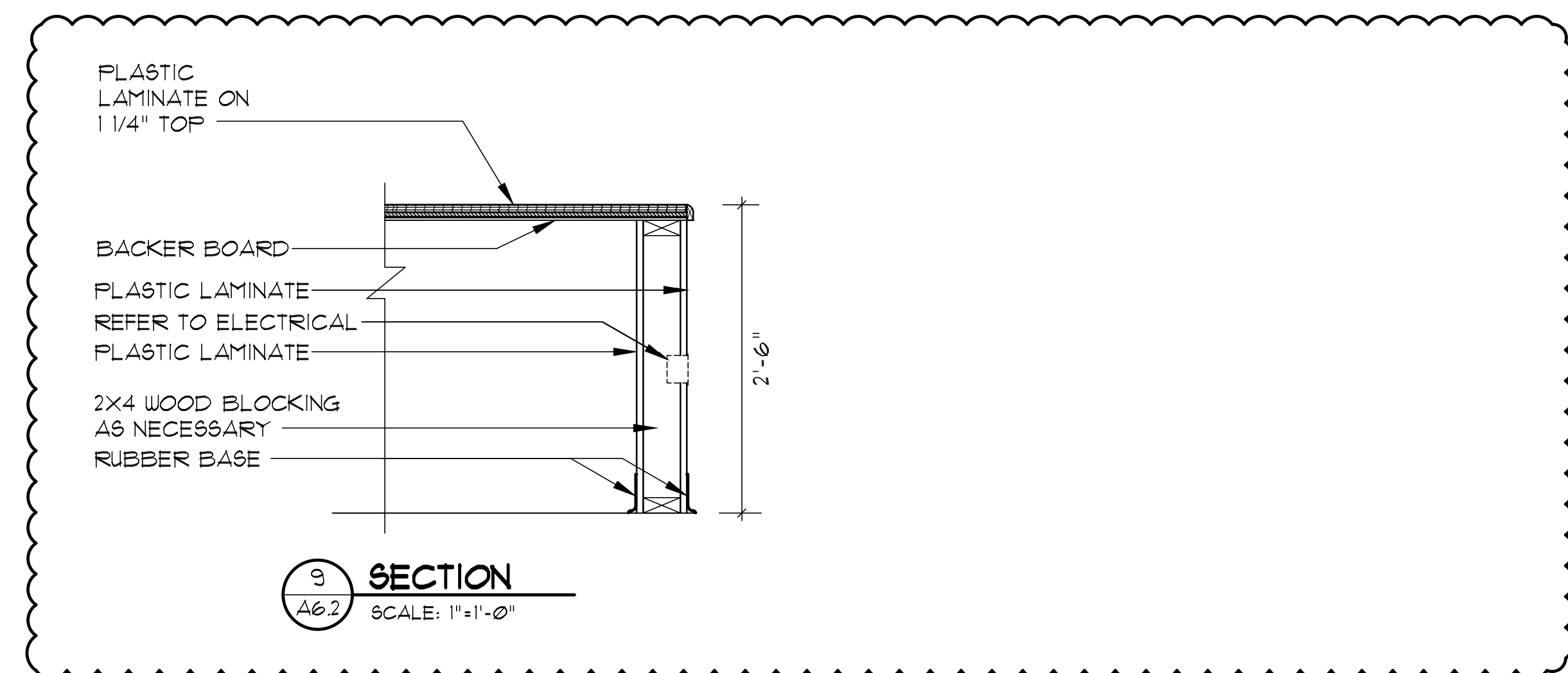


3 ELEVATION
SCALE: 1/2"=1'-0"

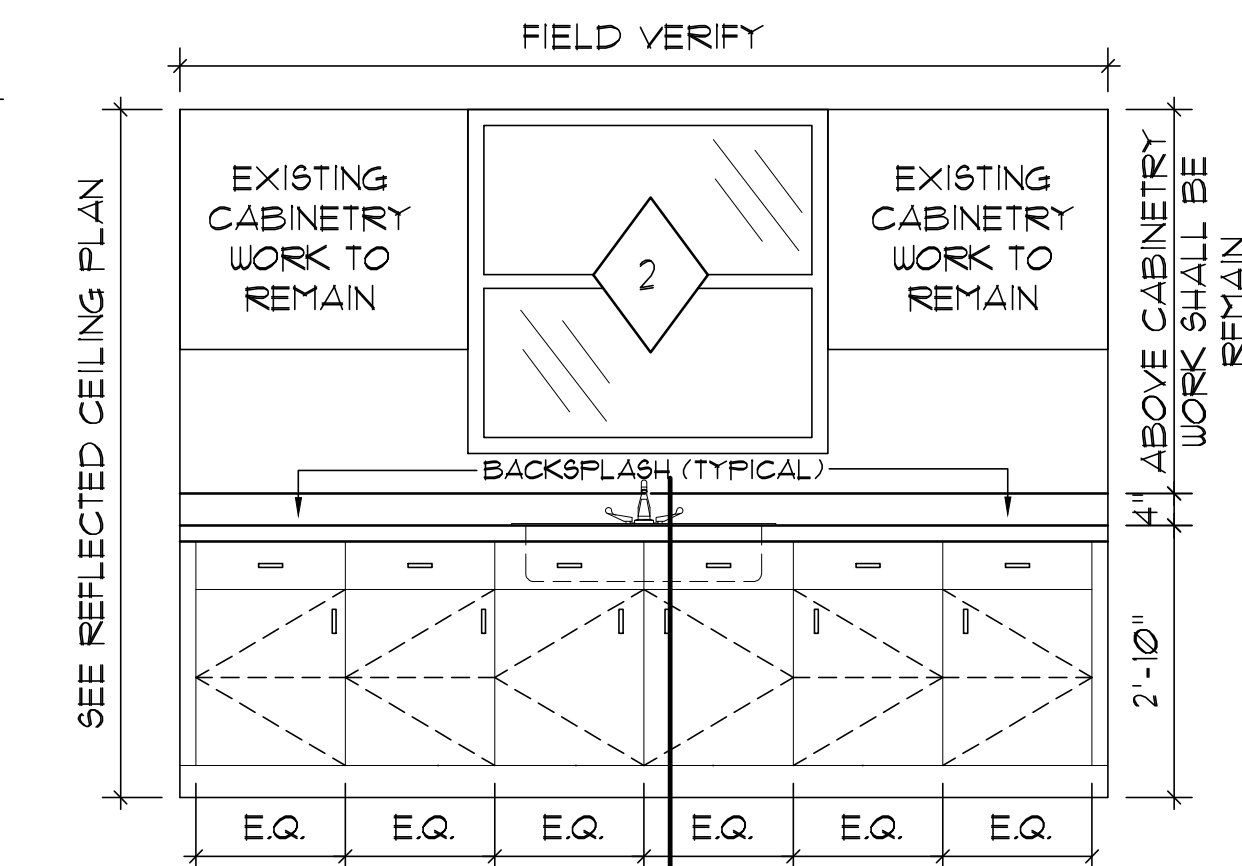


7 SECTION
SCALE: 1"=1'-0"

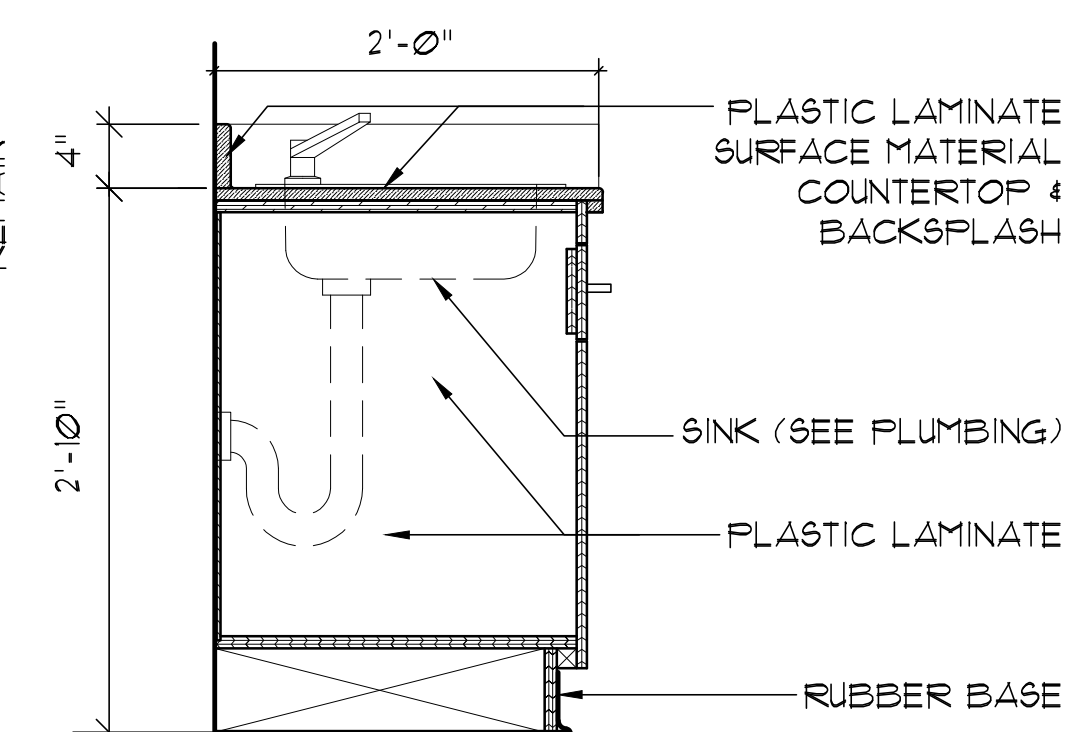
8 SECTION
SCALE: 1"=1'-0"



9 SECTION
SCALE: 1"=1'-0"



11 ELEVATION
SCALE: 1/2"=1'-0"



12 SECTION
SCALE: 1"=1'-0"



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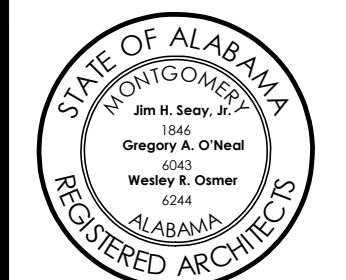
NORTHPORT
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Sheet Title

ENLARGED PLANS,
ELEVATIONS, AND DETAILS

Sheet Number

A6.2





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Project Title

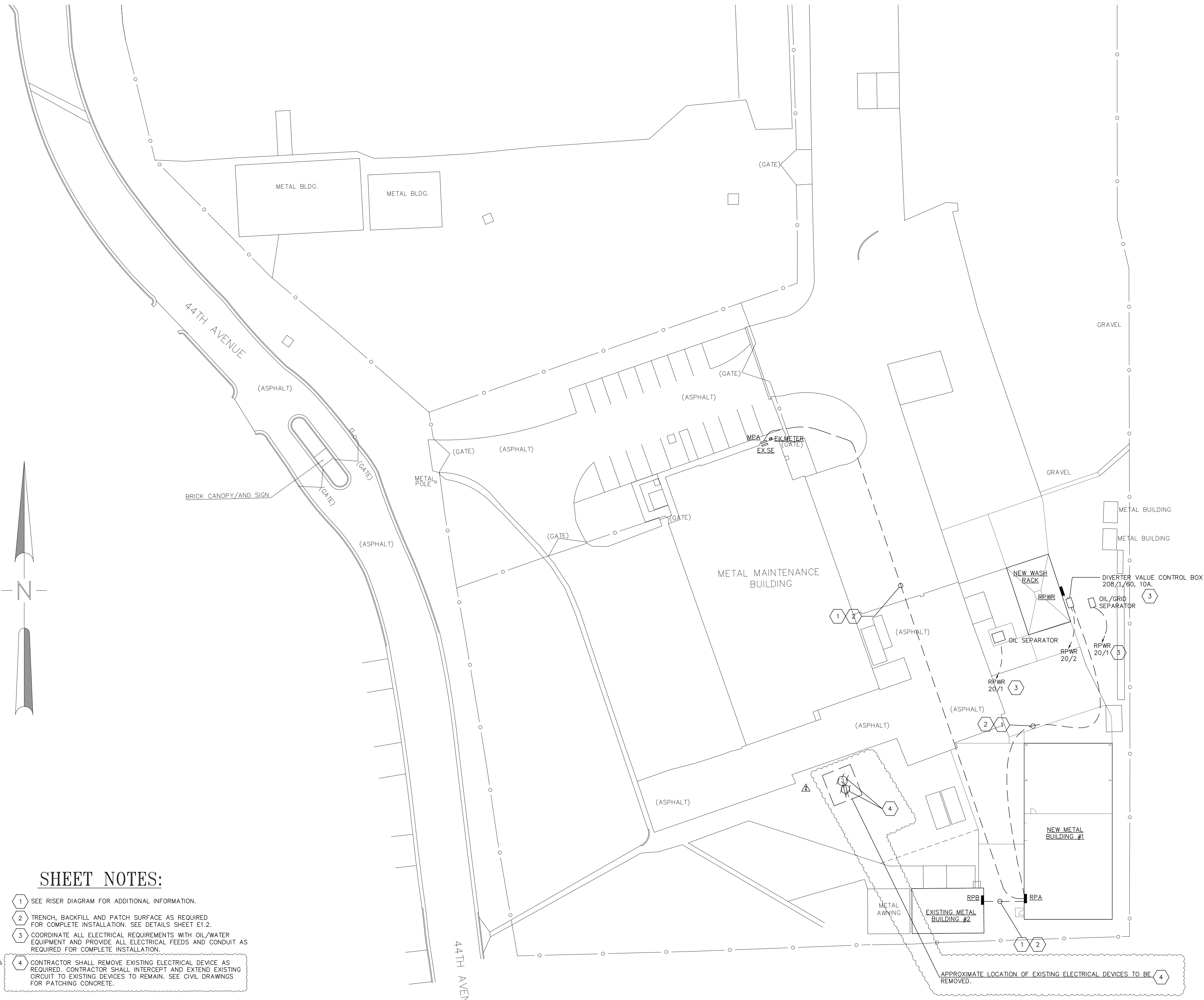
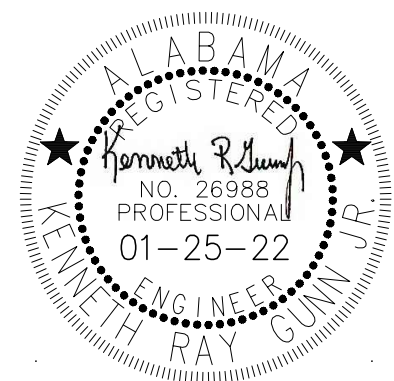
NORTHPORT
FMS #9 RENOVATIONS
NORTHPORT, AL

Sheet Title

SITE PLAN
- ELECTRICAL

Sheet Number

E1.1

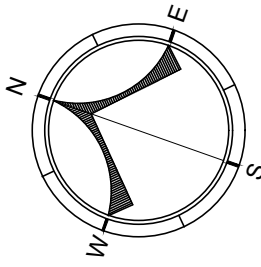
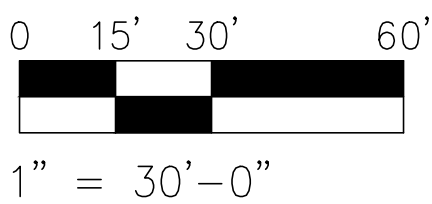


SHEET NOTES:

- 1 SEE RISER DIAGRAM FOR ADDITIONAL INFORMATION.
- 2 TRENCH, BACKFILL AND PATCH SURFACE AS REQUIRED FOR COMPLETE INSTALLATION. SEE DETAILS SHEET E1.2.
- 3 COORDINATE ALL ELECTRICAL REQUIREMENTS WITH OIL/WATER EQUIPMENT AND PROVIDE ALL ELECTRICAL FEEDS AND CONDUIT AS REQUIRED FOR COMPLETE INSTALLATION.
- 4 CONTRACTOR SHALL REMOVE EXISTING ELECTRICAL DEVICE AS REQUIRED. CONTRACTOR SHALL INTERCEPT AND EXTEND EXISTING CIRCUIT TO EXISTING DEVICES TO REMAIN. SEE CIVIL DRAWINGS FOR PATCHING CONCRETE.

1 SITE PLAN - ELECTRICAL
E1.0 SCALE: 1" = 1'-0"

GRAPHIC SCALE





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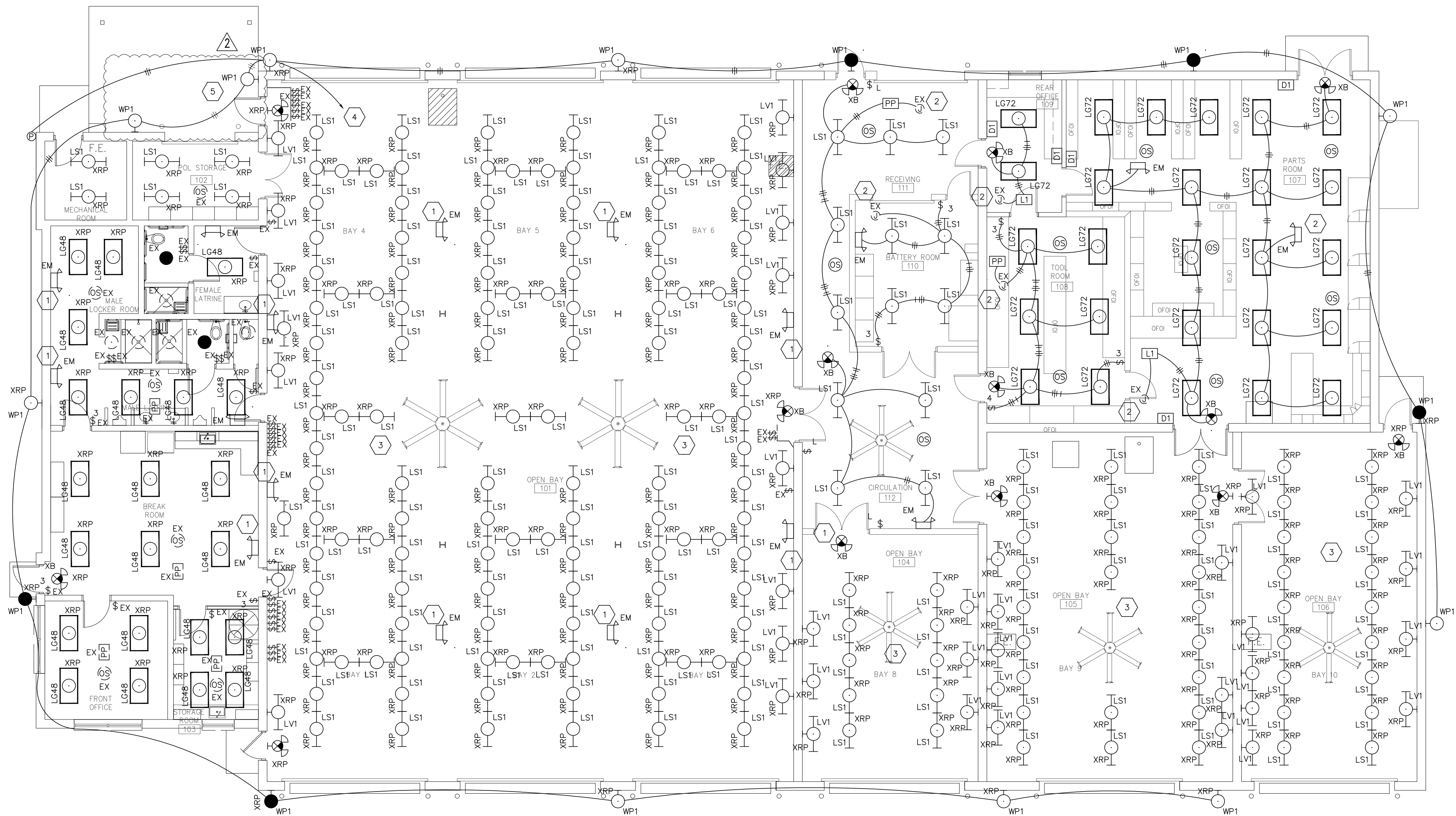
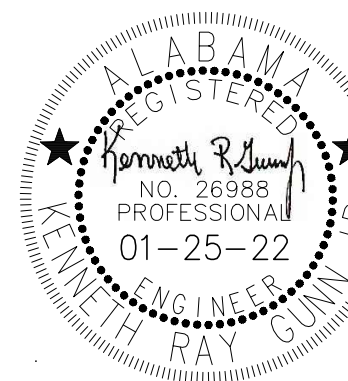
**NORTHPORT
FMS #9 RENOVATIONS
NORTHPORT, AL**

Sheet Title

**MAINTENANCE BUILDING
FLOOR PLAN - LIGHTING**

Sheet Number

E2.1



SHEET NOTES:

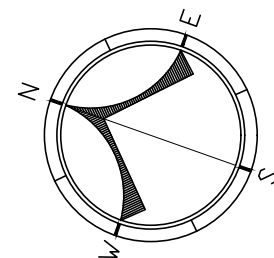
- 1 CONNECT NEW EMERGENCY UNIT TO NEAREST UNSWITCHED HOT.
- 2 CONNECT TO EXISTING UNSWITCH LIGHTING BRANCH CIRCUITING AT CEILING.
- 3 REWORK EXISTING LIGHTING CONTROL IN THIS AREAS FOR REVISED LAYOUT. PROVIDE ADDITIONAL (BRANCH CIRCUITING, ETC.) AS REQUIRED FOR COMPLETE OPERATION.
- 4 CONNECT EXTERIOR LIGHTING BRANCH CIRCUITING TO EXISTING EXTERIOR LIGHTING BRANCH CIRCUITING HOMERUN.
- 5 CONTRACTOR SHALL PROVIDE EXTRA "WP1" TYPE LIGHTING FIXTURE UNDERNEATH CANOPY AS REQUIRED.. VERIFY WITH ARCHITECT ON EXACT LOCATION PRIOR TO ROUGH IN. CONTRACTOR SHALL INTERCEPT AND EXTEND EXISTING EXTERIOR LIGHTING CIRCUIT AS TO FEED NEW LIGHT FIXTURE.

1 MAINTENANCE BUILDING FLOOR PLAN - LIGHTING
E2.1 SCALE: 1/8"=1'-0"

GRAPHIC SCALE



1/8" = 1'-0"





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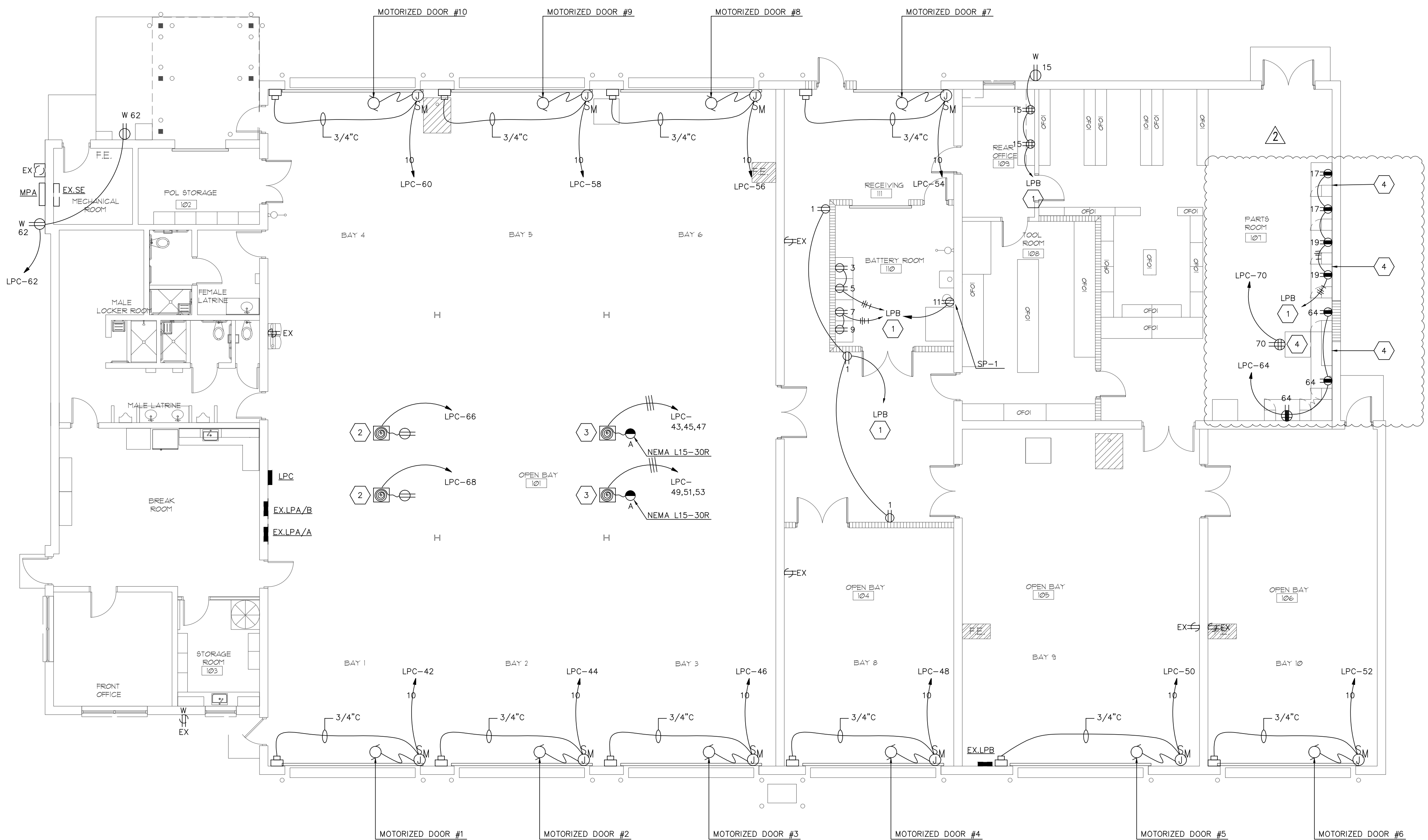
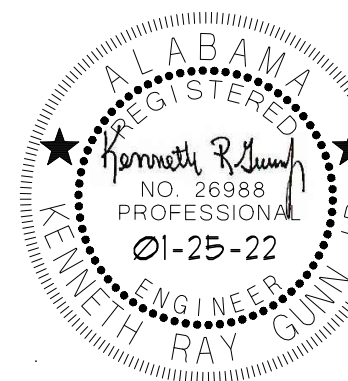
**NORTHPORT
FMS #9 RENOVATIONS
NORTHPORT, AL**

Sheet Title

**MAINTENANCE BUILDING
FLOOR PLAN - POWER**

Sheet Number

E3.1



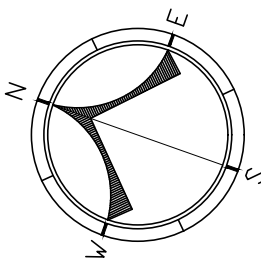
SHEET NOTES:

- 1 CIRCUIT NUMBERS ARE FOR REFERENCE ONLY. VERIFY IN FIELD. CONNECT TO NEW 20/1 BREAKER IN SPACE OF EXISTING PANELBOARD NOTED. NEW BREAKER SHALL MATCH EXISTING (MANUFACTURER, VOLTAGE, RATINGS, ETC.) BREAKER SHALL BE 42K AIC. PROVIDE NEW AND COMPLETE TYPE WRITTEN BRANCH DIRECTORY.
- 2 COORDINATE EXACT LOCATION OF 110V CORD AND REEL DEVICE WITH OWNER PRIOR TO ROUGH IN.
- 3 COORDINATE EXACT LOCATION OF 120/208V, 3 PHASE, 30 AMP CORD AND REEL DEVICE WITH OWNER PRIOR TO ROUGH IN. (VERIFY EXACT NEMA CONFIGURATION WITH OWNER PRIOR TO BIDS)
- 4 COORDINATE WITH ARCHITECTURAL ELEVATIONS PRIOR TO ROUGH IN FOR EXACT LOCATIONS AND MOUNTING HEIGHTS FOR DEVICES IN THIS AREA.

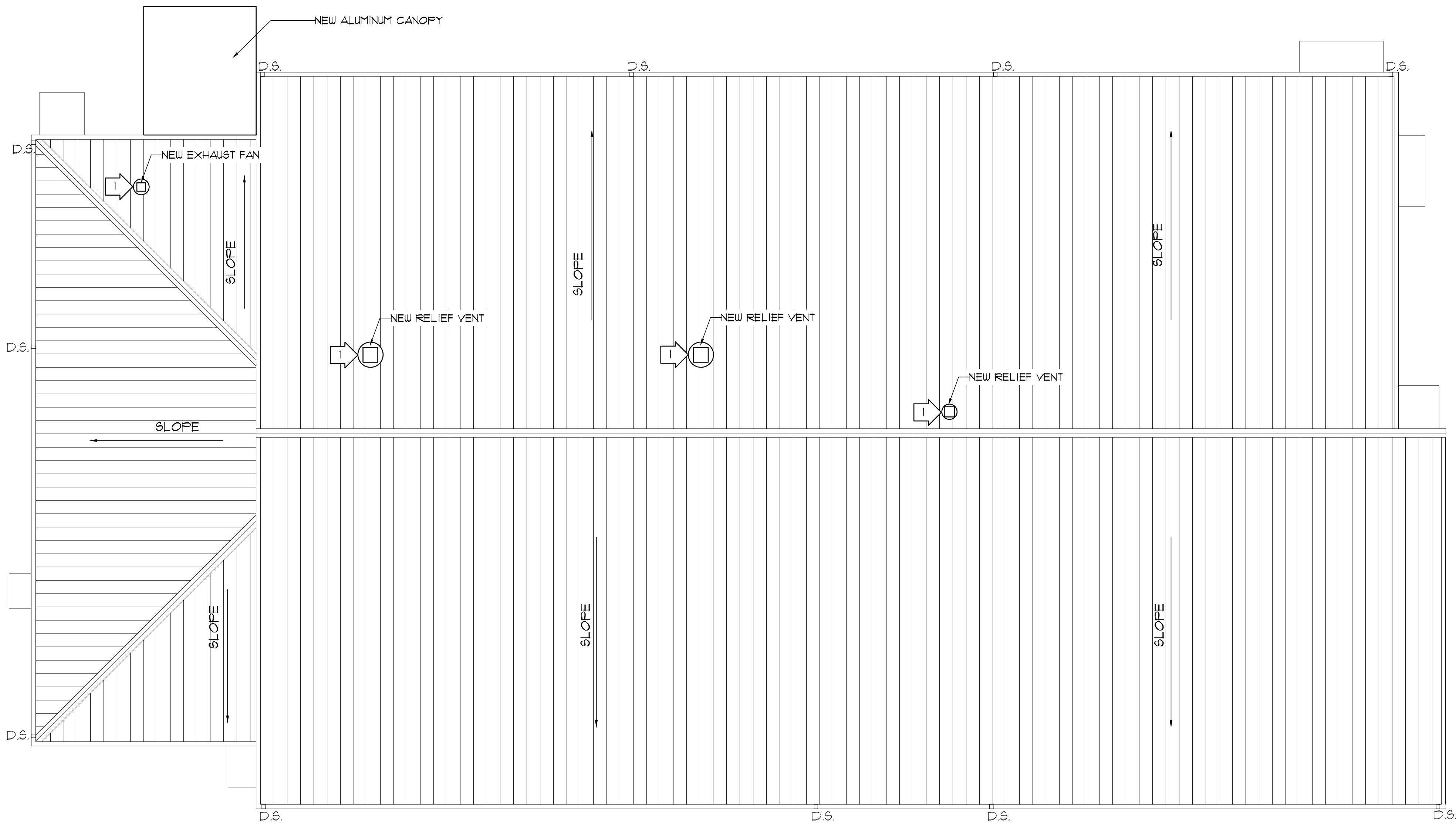
GRAPHIC SCALE



1/8" = 1'-0"

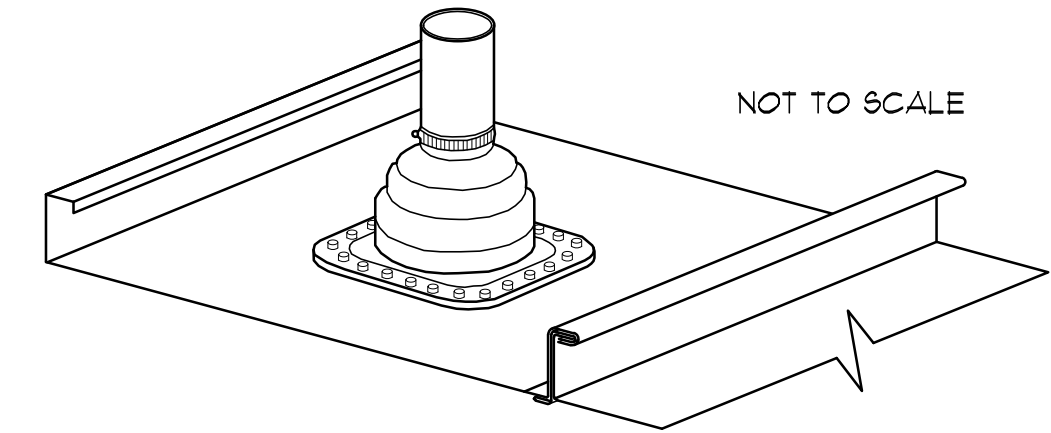


1
E3.1
MAINTENANCE BUILDING FLOOR PLAN - POWER
SCALE: 1/8"=1'-0"

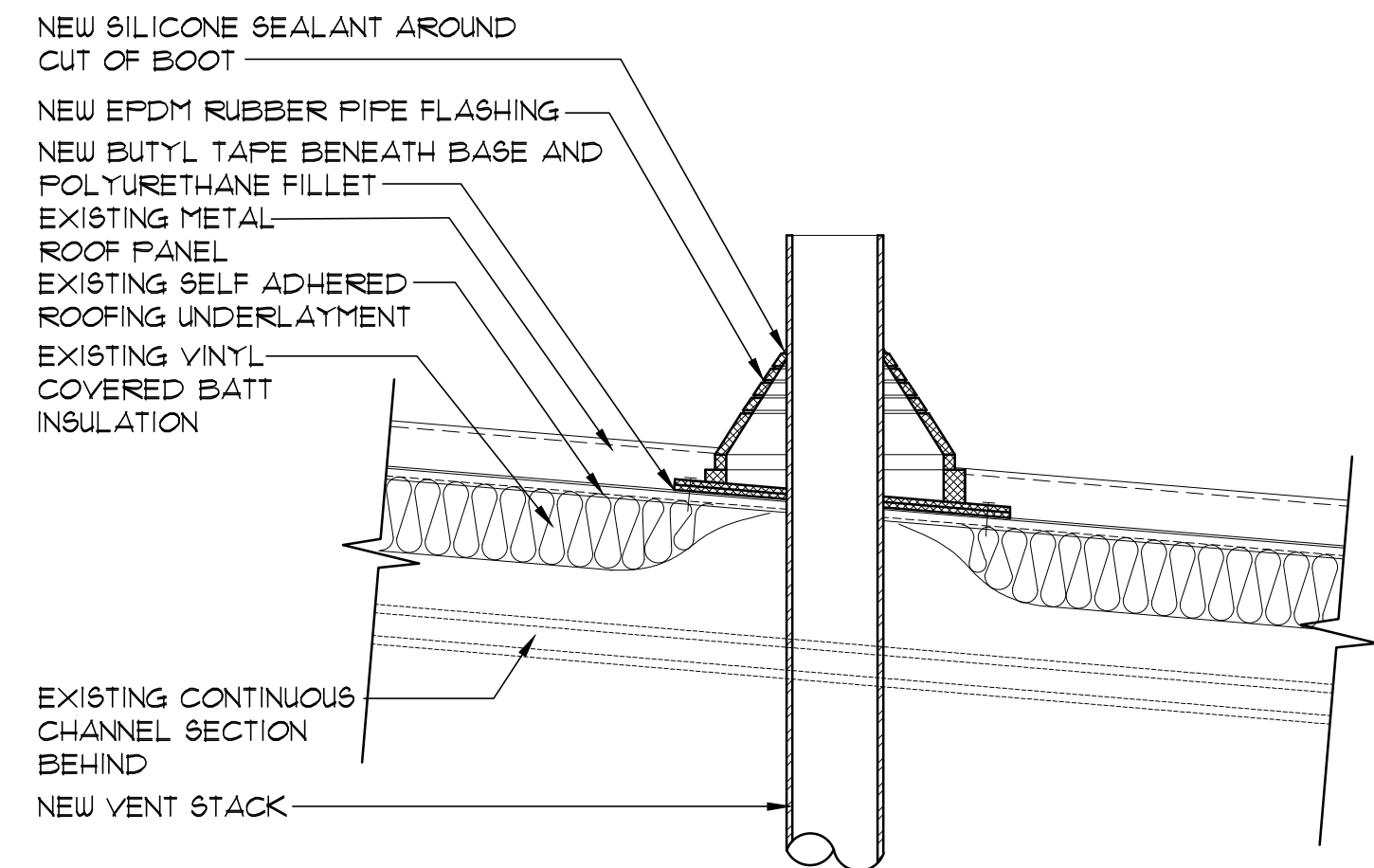


LEGEND

D.S. EXISTING DOWN SPOUT



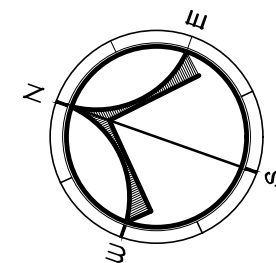
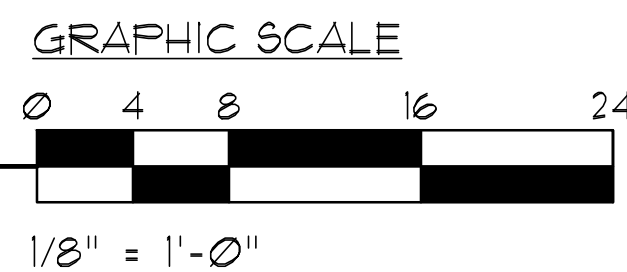
NOTES: INSTALL PIPE IN CENTER OF PANEL TO ALLOW BASE OF RUBBER ROOF JACK TO LAY FLAT ON PANEL.



NOTES: INSTALL PER MANUFACTURERS REQUIREMENTS AND WARRANTY REQUIREMENTS FOR ROOF.

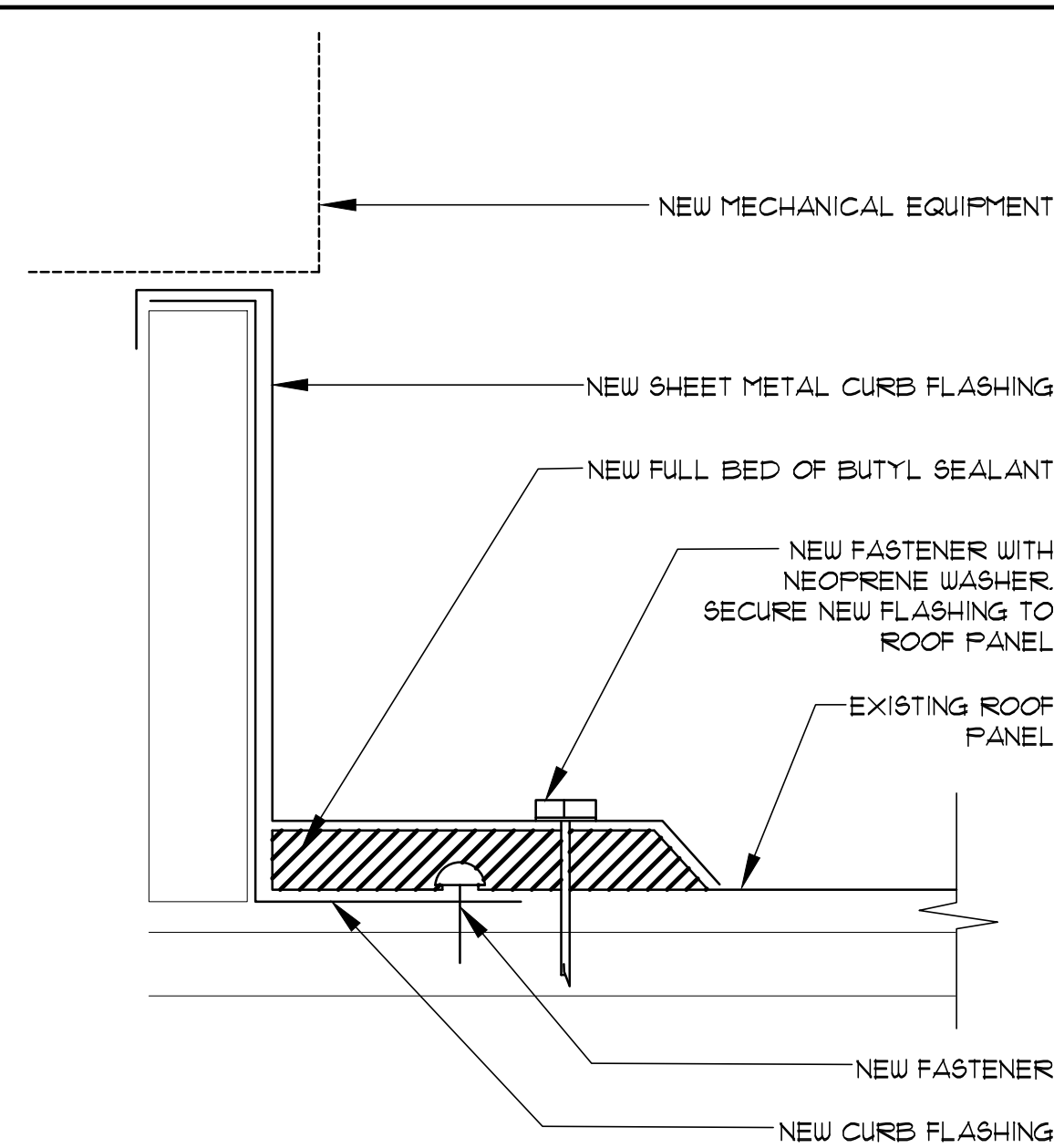
2 ROOF PENETRATION DETAIL
NOT TO SCALE

1 NEW ROOF PLAN
SCALE: 1/8" = 1'-0"

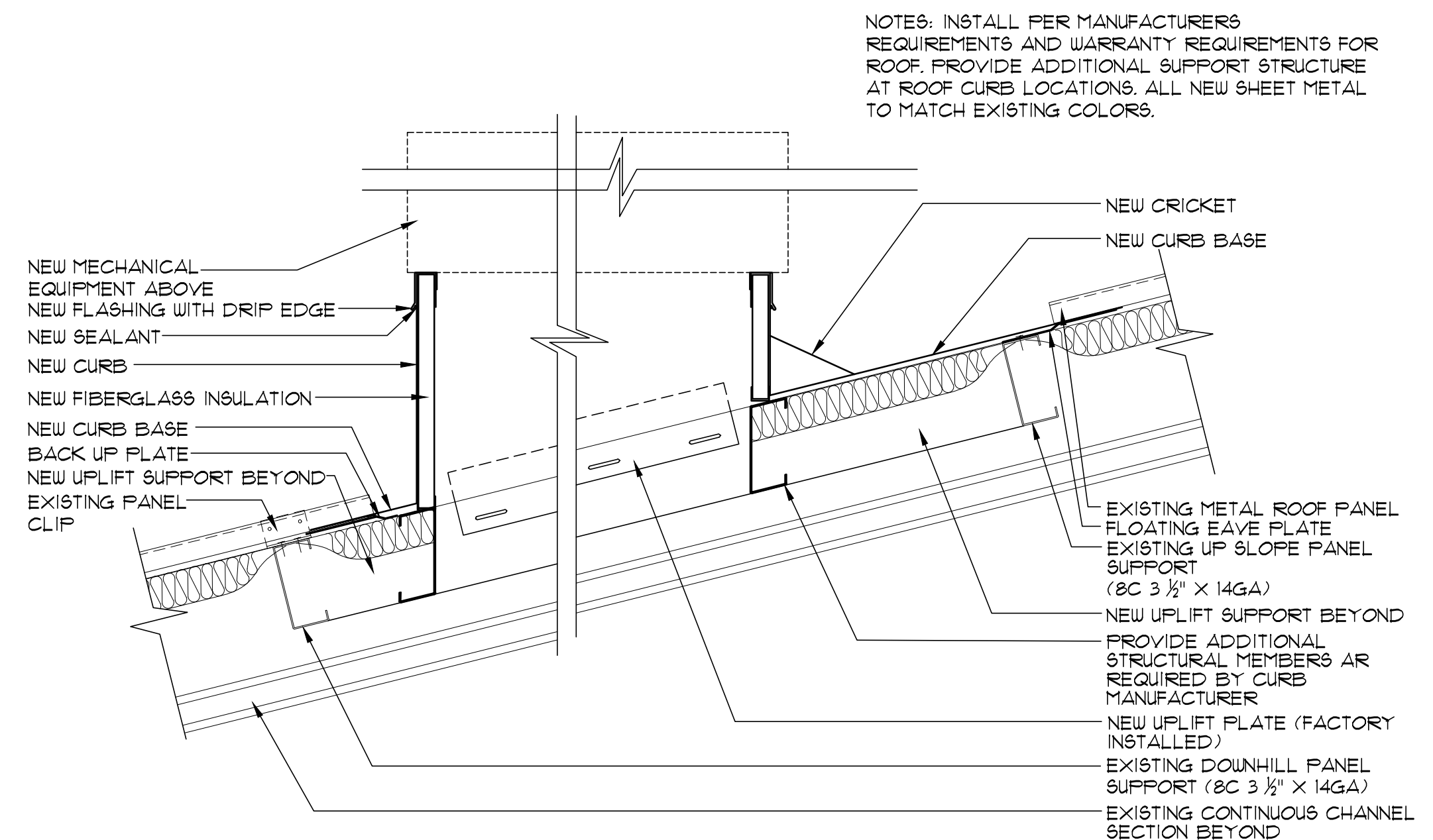


SPECIFIC WORK NOTES:

1 PROVIDE NEW SHEET METAL FLASHING AT NEW MECHANICAL CURBS. FLASHING TO COMPLETELY WRAP CURBS AND EXTEND BASE FLASHING OVER EXISTING METAL ROOF PANELS. PROVIDE BUTYL SEALANT BETWEEN EXISTING PANELS AND NEW FLASHING AND SECURE NEW FLASHING TO ROOF WITH NEW FASTENERS WITH NEOPRENE WASHERS. REFER TO DETAIL 3/A2.2.



3 NEW SHEET METAL CURB FLASHING DETAIL
SCALE: 3" = 1'-0"



4 ROOF CURB DETAIL FOR NEW MECHANICAL
SCALE: 3" = 1'-0"



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NORTHPORT, AL

Sheet Title

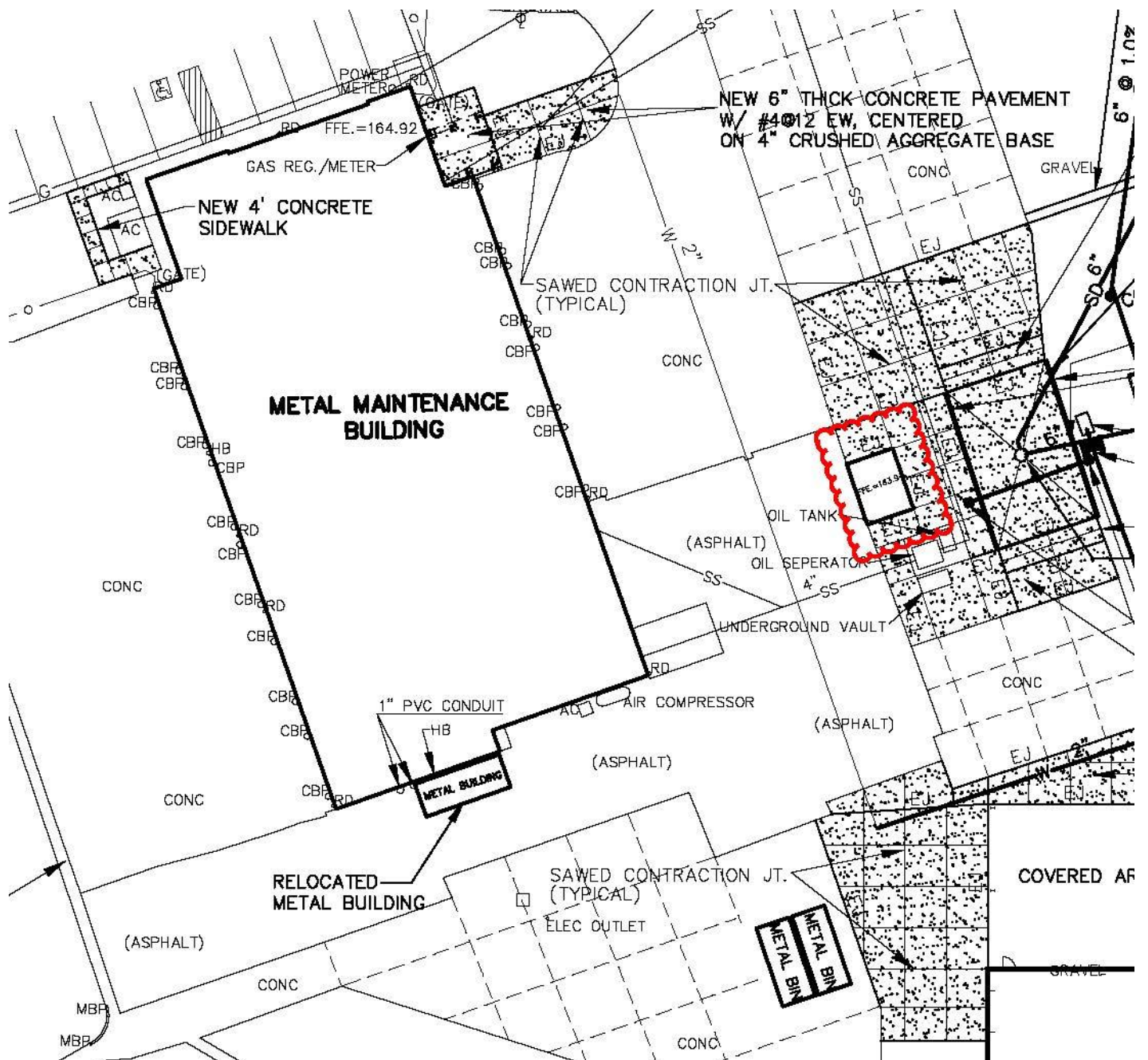
ROOF PLAN

Sheet Number

A2.2



Attachment A



Location of CMU Storage Building as noted in Addendum No. 02, Item No. 3

SECTION 08 4313 - ALUMINUM-FRAMED STOREFRONTS

PART 1 GENERAL

1.01 SECTION INCLUDES

- A. Aluminum-framed storefront, with vision glass.
- B. Aluminum doors and frames.

1.02 RELATED REQUIREMENTS

- A. Section 07 9200 - Joint Sealants: Sealing joints between frames and adjacent construction.
- B. Section 08 7100 - Door Hardware: Hardware items other than specified in this section.
- C. Section 08 8000 - Glazing: Glass and glazing accessories.

1.03 REFERENCE STANDARDS

- A. AAMA CW-10 - Care and Handling of Architectural Aluminum from Shop to Site 2015.
- B. AAMA 501.2 - Quality Assurance and Diagnostic Water Leakage Field Check of Installed Storefronts, Curtain Walls, and Sloped Glazing Systems 2015.
- C. AAMA 503 - Voluntary Specification for Field Testing of Newly Installed Storefronts, Curtain Walls and Sloped Glazing Systems 2014.
- D. AAMA 611 - Voluntary Specification for Anodized Architectural Aluminum 2014 (2015 Errata).
- E. AAMA 612 - Voluntary Specification, Performance Requirements, and Test Procedures for Combined Coatings of Anodic Oxide and Transparent Organic Coatings on Architectural Aluminum 2017a.
- F. AAMA 1503 - Voluntary Test Method for Thermal Transmittance and Condensation Resistance of Windows, Doors and Glazed Wall Sections 2009.
- G. AAMA 2604 - Voluntary Specification, Performance Requirements and Test Procedures for High Performance Organic Coatings on Aluminum Extrusions and Panels (with Coil Coating Appendix) 2017a.
- H. ASCE 7 - Minimum Design Loads and Associated Criteria for Buildings and Other Structures Most Recent Edition Cited by Referring Code or Reference Standard.

- I. ASTM B209 - Standard Specification for Aluminum and Aluminum-Alloy Sheet and Plate 2014.
- J. ASTM B221 - Standard Specification for Aluminum and Aluminum-Alloy Extruded Bars, Rods, Wire, Profiles, and Tubes 2021.
- K. ASTM B221M - Standard Specification for Aluminum and Aluminum-Alloy Extruded Bars, Rods, Wire, Profiles, and Tubes (Metric) 2021.
- L. ASTM E283 - Standard Test Method for Determining the Rate of Air Leakage Through Exterior Windows, Curtain Walls, and Doors Under Specified Pressure Differences Across the Specimen 2004 (Reapproved 2012).
- M. ASTM E330/E330M - Standard Test Method for Structural Performance of Exterior Windows, Doors, Skylights and Curtain Walls by Uniform Static Air Pressure Difference 2014 (Reapproved 2021).
- N. ASTM E331 - Standard Test Method for Water Penetration of Exterior Windows, Skylights, Doors, and Curtain Walls by Uniform Static Air Pressure Difference 2000 (Reapproved 2016).
- O. ASTM E547 - Standard Test Method for Water Penetration of Exterior Windows, Skylights, Doors, and Curtain Walls by Cyclic Static Air Pressure Difference 2000 (Reapproved 2016).
- P. ASTM E1105 - Standard Test Method for Field Determination of Water Penetration of Installed Exterior Windows, Skylights, Doors, and Curtain Walls, by Uniform or Cyclic Static Air Pressure Difference 2015.

1.04 ADMINISTRATIVE REQUIREMENTS

- A. Coordinate with installation of other components that comprise the exterior enclosure.
- B. Preinstallation Meeting: Conduct a preinstallation meeting one week before starting work of this section; require attendance by all affected installers.

1.05 SUBMITTALS

- A. See Section 01 3000 - Administrative Requirements, for submittal procedures.
- B. Product Data: Provide component dimensions, describe components within assembly, anchorage and fasteners, glass and infill, door hardware, and internal drainage details.
- C. Shop Drawings: Indicate system dimensions, framed opening requirements and tolerances, affected related work, expansion and contraction joint location and details, and field welding required.

- D. Samples: Submit two samples ____x____ inches (____x____ mm) in size illustrating finished aluminum surface, glass, infill panels, glazing materials.
- E. Manufacturer's Certificate: Certify that the products supplied meet or exceed the specified requirements.
- F. Mock Up: Include a portion of the storefront system in the project mock up.
- G. Hardware Schedule: Complete itemization of each item of hardware to be provided for each door, cross-referenced to door identification numbers in Contract Documents.
- H. Field Quality Control Submittals: Report of field testing for water penetration and air leakage.

1.06 QUALITY ASSURANCE

- A. Manufacturer Qualifications: Company specializing in performing work of type specified and with at least three years of documented experience.
- B. Comply with Zone 3, Ashrae Standard 90.7 (2013) Table 5.5.3 U Factor .60 Maximum, SHGC .25 Minimum
- C. Rating of Fenestration Products
 - 1. The U-factor, SHGC, and air leakage rate for all manufactured fenestration products shall be determined by a laboratory accredited by a nationally recognized accreditation organization, such as the National Fenestration Rating Council.
- D. Labeling of Fenestration Products
 - 1. All manufactured fenestration products shall have a permanent nameplate, installed by the manufacturer, listing the U-factor, SHGC, and air leakage rate.

1.07 DELIVERY, STORAGE, AND HANDLING

- A. Handle products of this section in accordance with AAMA CW-10.
- B. Protect finished aluminum surfaces with wrapping. Do not use adhesive papers or sprayed coatings that bond to aluminum when exposed to sunlight or weather.

1.08 WARRANTY

- A. See Section 01 7800 - Closeout Submittals, for additional warranty requirements.
- B. Correct defective Work within a five year period after Date of Final Acceptance.
- C. Provide five year manufacturer warranty against failure of glass seal on insulating glass units, including interpane dusting or misting. Include provision for replacement of

failed units.

- D. Provide five year manufacturer warranty against excessive degradation of exterior finish. Include provision for replacement of units with excessive fading, chalking, or flaking.

PART 2 PRODUCTS

2.01 BASIS OF DESIGN -- FRAMING FOR INSULATING GLAZING

A. Center-Set Style, Thermally-Broken:

- 1. Basis of Design: Kawneer Trifab VersaGlaze 451UT Framing System or Approved Equal.
- 2. Vertical Mullion Dimensions: 2 inches wide by 4-1/2 inches deep (51 mm wide by 114 mm deep).
- 3. At exterior applications provide thermally broken ultra sill flashing equal to Kawneer Trifab VersaGlaze 451 UT with integral weeps and with sealed end metal dams by manufacturer.

B. Center-Set Style, Not Thermally-Broken:

- 1. Basis of Design: Kawneer Trifab VersaGlaze 450 Framing System or Approved Equal.
- 2. Vertical Mullion Dimensions: 1-3/4 inches wide by 4-1/2 inches deep (45 mm wide by 114 mm deep).

C. Other Manufacturers: Provide either the product identified as "Basis of Design" or an equivalent product of one of the manufacturers listed below:

D. Substitutions: See Section 01 6000 - Product Requirements.

- 1. For any product not identified as "Basis of Design", submit information as specified for substitutions.

2.02 BASIS OF DESIGN -- SWINGING DOORS

A. Wide Stile, Non-Insulated Glazing: Non-Thermally-Broken (Interior):

- 1. Basis of Design: Kawneer 500 Standard Entrance or Approved Equal.
- 2. Thickness: 1-3/4 inches (43 mm)
- 3. Vertical: 5 inches.

4. Top Rail: 5 inches.
5. Bottom Rail: 12 inches.
- B. Wide Stile, Insulating Glazing, Thermally-Broken (Exterior):
 1. Basis of Design: Kawneer 500 Standard Entrance or Approved Equal.
 2. Thickness: 1-3/4 inches (43 mm).
 3. Bottom Rail: 12 inches.

2.03 APPLICATION SCHEDULE

- A. Provide thermally broken systems at all exterior applications.

2.04 STOREFRONT

- A. Aluminum-Framed Storefront: Factory fabricated, factory finished aluminum framing members with infill, and related flashings, anchorage and attachment devices.
 1. Finish: AAMA 2605, Fluoropolymer Coating.
 - a. Factory finish all surfaces that will be exposed in completed assemblies.
 - b. Touch-up surfaces cut during fabrication so that no natural aluminum is visible in completed assemblies, including joint edges.
 2. Finish Color: As selected by Owner and Architect from manufacturer's standard line..
 3. Fabrication: Joints and corners flush, hairline, and weatherproof, accurately fitted and secured; prepared to receive anchors and hardware; fasteners and attachments concealed from view; reinforced as required for imposed loads.
 4. Construction: Eliminate noises caused by wind and thermal movement, prevent vibration harmonics, and prevent "stack effect" in internal spaces.
 5. System Internal Drainage: Drain to the exterior by means of a weep drainage network any water entering joints, condensation occurring in glazing channel, and migrating moisture occurring within system. Provide sealed end metal dams by manufacturer.
 6. Expansion/Contraction: Provide for expansion and contraction within system components caused by cycling temperature range of 170 degrees F (95 degrees C) over a 12 hour period without causing detrimental effect to system components, anchorages, and other building elements.

7. Movement: Allow for movement between storefront and adjacent construction, without damage to components or deterioration of seals.
8. Perimeter Clearance: Minimize space between framing members and adjacent construction while allowing expected movement.

B. Performance Requirements:

1. Wind Loads: Design and size components to withstand the specified load requirements without damage or permanent set, when tested in accordance with ASTM E330/E330M, using loads 1.5 times the design wind loads and 10 second duration of maximum load.
 - a. Design Wind Loads: Comply with requirements of ASCE 7.
 - b. Member Deflection: Limit member deflection to flexure limit of glass in any direction, with full recovery of glazing materials.
2. Water Penetration Resistance on Manufactured Assembly: No uncontrolled water on interior face, when tested in accordance with ASTM E331 at pressure differential of 8 psf (390 Pa).
3. Air Leakage Laboratory Test: Maximum of 0.06 cu ft/min sq ft (0.3 L/sec sq m) of wall area, when tested in accordance with ASTM E283 at 6.27 psf (300 Pa) pressure differential across assembly.
4. Overall U-value Including Glazing for Thermally Broken Application: [0.46] Btu/(hr sq ft deg F) ([] Btu/(hr sq ft deg F)), maximum.

2.05 COMPONENTS

- A. Aluminum Framing Members: Tubular aluminum section thermally broken and non-thermally broken where indicated, drainage holes and internal weep drainage system. Provide sealed end metal dams by manufacturer.
 1. Glazing Stops: Flush.
- B. Glazing: As specified in Section 08 8000.
- C. Swing Doors: Glazed Aluminum as specified above. .

2.06 MATERIALS

- A. Extruded Aluminum: ASTM B221 (ASTM B221M).
- B. Fasteners: Stainless steel.

- C. Glazing Gaskets: Type to suit application to achieve weather, moisture, and air infiltration requirements.

2.07 ACCESSORIES

- A. Provide manufacturers interior stool trim as shown on drawings.

2.08 FINISHES

- A. Color: To be selected by Owner and Architect from manufacturer's full range.
- B. Touch-Up Materials: As recommended by coating manufacturer for field application.

2.09 HARDWARE

- A. For each door, include weatherstripping, sill sweep strip, and threshold.
- B. Other Door Hardware: As specified in Section 08 7100.
- C. Weatherstripping: Wool pile, continuous and replaceable; provide on all doors.
- D. Sill Sweep Strips: Resilient seal type, retracting, of neoprene; provide on all doors.
- E. Threshold: Extruded aluminum, one piece per door opening, ribbed surface; provide on all doors.

PART 3 EXECUTION

3.01 EXAMINATION

- A. Verify dimensions, tolerances, and method of attachment with other work.
- B. Verify that wall openings and adjoining air and vapor seal materials are ready to receive work of this section.

3.02 INSTALLATION

- A. Install wall system in accordance with manufacturer's instructions.
- B. Attach to structure to permit sufficient adjustment to accommodate construction tolerances and other irregularities.
- C. Provide alignment attachments and shims to permanently fasten system to building structure.
- D. Align assembly plumb and level, free of warp or twist. Maintain assembly dimensional tolerances, aligning with adjacent work.
- E. Provide thermal isolation where components penetrate or disrupt building insulation.

- F. Install sill flashings. Turn up ends and edges; seal to adjacent work to form water tight dam.
- G. Where fasteners penetrate sill flashings, make watertight by seating and sealing fastener heads to sill flashing.
- H. Pack fibrous insulation in shim spaces at perimeter of assembly to maintain continuity of thermal barrier.
- I. Set thresholds in full bed of sealant and secure.
- J. Touch-up minor damage to factory applied finish; replace components that cannot be satisfactorily repaired.

3.03 TOLERANCES

- A. Maximum Variation from Plumb: 0.06 inch per 3 feet (1.5 mm per m) non-cumulative or 0.06 inch per 10 feet (1.5 mm per 3 m), whichever is less.
- B. Maximum Misalignment of Two Adjoining Members Abutting in Plane: 1/32 inch (0.8 mm).

3.04 FIELD QUALITY CONTROL

- A. See Section 01 4000 - Quality Requirements, for independent field testing and inspection requirements, and requirements for monitoring quality of specified product installations.
- B. Water-Spray Test: Provide water spray quality test of installed storefront components in accordance with AAMA 501.2 during construction process and before installation of interior finishes.
 - 1. Perform a minimum of two tests in each designated area as indicated on drawings.
 - 2. Conduct tests in each area prior to 10 percent and 50 percent completion of this work.
- C. Provide field testing of installed storefront system by independent laboratory in accordance with AAMA 503 during construction process and before installation of interior finishes.
 - 1. Perform a minimum of two tests in each designated area as indicated on drawings.
 - 2. Conduct tests in each area prior to 10 percent and 50 percent completion of this work.

3. Field test for water penetration in accordance with ASTM E1105 with uniform static air pressure difference (Procedure A) not less than 4.18 psf (200 Pa).
 - a. Maximum allowable rate of water penetration in 15-minute test is 0.5 ounce (14 gram) that is not contained in an area with provisions to drain to exterior, or collected on surface of interior horizontal framing member.
- D. Repair or replace storefront components that have failed designated field testing, and retest to verify performance conforms to specified requirements.
- E. Test installed storefront for water penetration in accordance with ASTM E1105 with a uniform test pressure difference of 2.86 lbf/sq ft (140 Pa). Test shall include a minimum of [] cycles, each lasting a minimum of [] minutes.

3.05 ADJUSTING

- A. Adjust operating hardware and sash for smooth operation.

3.06 CLEANING

- A. Remove protective material from pre-finished aluminum surfaces.

3.07 PROTECTION

- A. Protect installed products from damage until Date of Final Acceptance.

END OF SECTION