

## ADDENDUM NO. 1

PROJECT: PELHAM RENAMING EFFORT  
ANNISTON, ALABAMA

## All Bidders of Record

This Addendum forms a part of the Contract Documents, dated August 31, 2023, and modifies the original project Manual and Drawings. All Bidders shall acknowledge receipt of this Addendum in the space provided on the Bid Form. Failure to do so may subject Bidder to disqualification. Perform all work in no more than 250 calendar days in accordance with the Milestone Dates for this project.

This Addendum consists of Nineteen (19).

A. MODIFICATIONS TO CONTRACTUAL/LEGAL REQUIREMENTS:

1. Refer to Advertisement for Bids:
  - A. A Pre-Bid Conference was conducted at 1:30 p.m., Wednesday, September 6, 2023, at FMTC Building 2299, Anniston, Alabama. See attached Minutes of the Meeting and Sign in Sheet of those in attendance.
2. Refer to Plans, Sheet BI.B/A2.1, BI.B/A7.1 and Specifications Section 09 30 00-3, Section 2.2-C:
  - A. Clarification: Provide 12" x 24" tile as specified on the Walls, Ceiling, and Floor at showers only.
3. Refer to Specifications, Section 09 30 00-3, Section 2.2-B:
  - A. Clarification: Provide Glazed Backsplash Wall Tile: Daltile, Color Wheel Collection, Linear Glazed Ceramic or approved equivalent, 3" x 6" Size.
4. Refer to Plans, Sheet BI.A/A1.1 & SD-1 thru SD -5:
  - A. Clarification and Details Provided to Revise the Footing Under the Monumental Sign Pilaster and the Synthetic Stone Cap, Refer to Details for Direction
5. Refer to Specifications, Division 11, Section 11 45 00 Residential Appliances:
  - A. Note: Delete Residential Appliances from the specs. These items will not be furnished in this contract, they are furnished by the Owner.
6. Refer to Plans, All Site Plan Construction Sheets:
  - A. Add Note: Any excess soils created by the construction at Bid Item A The Clarke Range sign will be coordinated with FTMTTC DPW and disposed of at Clarke Range as directed.
7. Refer to Plans Section 5/A1.1, Bid Item A:
  - A. Note: Synthetic Stone Cap will be 4" thick minimum and will be installed with positive slope to drain to each side. Slope shall be 2% minimum from center to wall edge.
8. Refer to Site Plan and Plumbing Plan, Sheet BI.B/P2.1:
  - A. Note: Plumbing subcontractor will video scope the existing sanitary sewer line from the existing manhole on site downhill to the next manhole to verify integrity of this entire line. Contractor will video this line when construction is complete to verify final integrity of this line.

9. Refer to Bid Item B, All Plans, Sections and Electrical Plans:
  - A. Contractor will provide 2x4 wood blocking coordinated with all T.V. locations for wall mounted T.V. brackets. Coordinate T.V. mounting requirements with Owner representatives.
10. Refer to Bid Item 1 Plans and Door Schedule:
  - A. Modify Door Type B8 to be a full flush panel MDF door in lieu of plywood. Door will be 2'-1" ± wide. This door to receive closet hardware as specified.
11. Refer to Bid Item B Elevations and Specifications:
  - A. Note: Add a second complete building number sign at the right hand side of the Master Suite No. 104 southwest wall at front elevation.
12. Refer to Plans, Building Section 2/A5.1 and Mechanical Drawing Bl.B/M3.1:
  - A. Note: 8" x 30" Mechanical Grilles shown at Kitchen Area will be installed as follows:  
LVL beam which only supports ceiling jack rafters on the southwest side of the open space at the kitchen will be notched at the bottom to allow 8" x 30" ductwork to be installed. Two 2 x 4 blocking trim will then be installed continuous on bottom of LVL as shown to provide closure plate.
  - B. Please note that the mechanical grilles shown must be installed at each side of the Safe Room concrete slab to accommodate this detailing. A/E will provide final location of these grilles on submittals.
13. Bid Item B – Refer to Roof Framing Plans, Sheet Bl.B/S2.1:
  - A. Note: The LVL Ridge Beam is shown for ease of construction framing. It is supported by ridge poles shown on the roof framing plan and by three 2 x 4 wall framing at end walls. Rafters then frame to this element at each side as shown. Ends of these elements will be solid blocked at end walls.
14. Refer to Plans and Specifications, Bid Item B:
  - A. Shower locations will receive shower pan and liner; waterproofing liner as specified. This pan/liner will run continuous up and over the shower seats on vertical face and top. Installation will be in accordance with industry standards.
15. Refer to Plans, Site Plan, Bid Item B:
  - A. Note: Modify location/routing of sanitary sewer to match that shown on Sheet Bl.B/P2 from outside of Master Suite 104 to existing sanitary sewer manhole shown on Civil Plan.
16. Refer to Plans, Site Plan, Bid Item B:
  - A. Note: Asphalt paving, Bid Item B, under Alternate B1 will be installed as specified in area of all crushed stone paving as shown on site plan. Delete concrete paver stripes at the parking in their entirety.
17. Bid Item B – Refer to Drawings, All Plans
  - A. Relocate gas grille onto concrete patio a minimum of 18".
18. Bid Item B – Refer to Plans and Door Schedule, Door No.10 into Safe Room:
  - A. Install ¾" x ¾" wood trim to match 5 panel configuration on each face of this door. Install with construction adhesive and paint door color.

19. Bid Item B – Refer to Plans, Sheet BI.B/A5.1 Section 1
  - A. Note: At this section extend wall framing at carport wall to deck at carport roof continuously across entire carport and install OSB sheathing to roof deck. Apply R-22 spray foam insulation at interior side of OSB to complete insulation and air barrier between the carport and the interior of the house.
20. Bid Item B – Refer to Details A/A6.1 and CA6.1
  - A. Note: Provide 1" minimum shingle overhang past the edge of the Hardie trim. Typical. Also install 2x8 subfascial in lieu of 1x8" sub fascia as shown. This same edge detail will apply to standing seam roofing at perimeter fascia and overhang.
21. Bid Item B – Refer to All Roof Framing, LVL, and other framing bearing at all 3 1/2" x 3 1/2" steel columns.
  - A. Note: Provide 4" wide x 10" long x 1/4" steel plate at tops of all columns. Install 4) 3/4" lag bolts to connect all columns to LVL or other framing as applicable. Also tie all LVL's to wall framing with structural tie straps as specified.
22. Bid Item B – Refer to Fire Protection Drawings Sheet BI.NB/SP1.1
  - A. Contractor will be required to provide sprinkler fire protection at all open attic spaces as required by code.
  - B. Add an Allowance of \$35,000 to sprinkle the attic and modify the line size and entry requirements.
23. See attached Planholder List.
24. See Proposal Form.

END OF ADDENDUM NO. 1  
JMR+H Architecture, PC  
445 Dexter Avenue, Suite 5050  
Montgomery, Alabama 36104  
Telephone: (334) 420-5672  
Fax: (334) 420-5692  
specs@jmrha.com

## Minutes

### PRE-BID CONFERENCE

PELHAM RENAMING EFFORT  
ANNISTON, ALABAMA  
IFB NO. AC-23-B-0016-S  
September 6, 2023, 1:30 PM  
Fort McClellan Building 2299  
Anniston, Alabama

Sign-In

Introductions

Contract

- This will be a **State** Contract between the **Armory Commission of Alabama (AC)** and the selected Contractor.
  - The AC is represented by Mark Weeks (Contracting Officer - KO), Eric Holt and Mike Webb (Primary Contracting Officer's Representatives - CORs), and Burt Rowell (Alternate COR).
  - The A/E, P/M and/or tenants do NOT represent the Owner.
  - The only person who can revoke, alter, relax, or waive, any requirements of the Contract Documents, to finally approve or accept any portion of the Work or to issue instructions contrary to the Drawings and Specifications is the KO and his CORs.
  - The U. S. Army Corps of Engineers does NOT have any role in this Contract, nor are they a party to this Contract, nor do they have any jurisdiction, nor are they be consulted regarding any disputes.
  - Payments will be made via State check or EFT – payment method is based solely on the Contractor's choice when registering with the State of Alabama.

Receipt of Proposals

- Sealed bids will be received by The Armory Commission of Alabama, at the State Military Department Building, 1720 Cong. W.L. Dickinson Drive, (P.O. Box 3711), Montgomery, Alabama, **until 2:00 p.m., Central Time, Thursday, September 21, 2023**, for Pelham Renaming Effort, Anniston, Alabama (IFB# AC-23-B-0016-S)
- **Please arrive early prior to bid opening due to possible screening or other potential delays entering the base.**
- **The bids will then be publicly opened and read in the Second Floor Classroom (Room 201), of the State Military Department, 1720 Cong. W.L. Dickinson Drive, Montgomery, Alabama.**
- Changes by telegram, written communication or facsimile **WILL NOT** be accepted.
  - In accordance with Paragraph 2.C(1) of the Special Conditions of the Contract (00 73 00), the above modifies the second sentence of paragraph 10 of the Instructions to Bidders (00 21 00).
  - **The ONLY approved method to make changes is as follows:** The sum being bid may be changed by the Bidder by writing the change in price, over the Bidder's authorized signature, or initials, on the envelope; however, if the sum being bid is revealed on the envelope, the bid no longer constitutes a "sealed bid" and must not be received.

- Proposal envelopes MUST include all of the following:
  - Sealed envelope containing:
    - Two completed, completely signed (at least one must contain all original signatures) proposal forms and
      - One bid bond (5% NTE \$10,000.00) with correct Power of Attorney, OR
      - A certified check (5% NTE \$10,000.00) made payable to the Owner.
  - Written (or typed) on the outside the word “Bid”
  - The project name,
  - The project Invitation to Bid (IFB) number,
  - The Bidder’s name, and
  - The Bidder’s Alabama General Contractor’s licensure number.
- In accordance with Paragraph 12 of the Instructions to Bidders, “Bids may be rejected if they contain any omissions, alterations of forms, additions not called for, conditional bids, alternate bids unless called for, incomplete bids, erasures, or irregularities of any kind. Bids in which the unit or lump sum prices bid are obviously unbalanced may be rejected.”
- Bid prices do NOT include Sales or Use Taxes in accordance with Act 2013-205.
  - For additional information concerning this guidance, taxpayers should contact the Sales and Use Tax Division at 334-242-1574.
- Disclosure Statement – prefer completed with bid.

#### Request For Information (RFIs)

- RFIs must be received in writing by Renae Williams of JMR+H Architecture, PC via email at [specs@jmrha.com](mailto:specs@jmrha.com) **AND** Jim Robinson of JMR+H Architecture, PC via email at [jrobinson@jmrha.com](mailto:jrobinson@jmrha.com) no later than 2 p.m. on Wednesday, September 13, 2023.

#### E-Verify

- This project will require E-verification and Memorandum of Understanding prior to contract execution.

#### Allowances

- There are no allowances with this Contract.

#### Maintenance

- The Contractor is required to perform all manufacturer’s required maintenance through the duration of the One Year GC Warranty period, i.e., until one year after Final Acceptance.
  - The cost of this maintenance is to be included in the proposal price(s) – the Owner will NOT authorize a Contract Modification to pay for this requirement.
- The maintenance will be per manufacturer’s requirements and will be documented, in writing, to the Owner (AC) through the A/E.

#### Prior Approval

- This project requires, and the State solicits full competition.
- However, pre-bidding equal status of products is required to ensure equality of products being proposed.
  - Bidders shall complete and submit one Substitution Request Form During Bidding (00 43 25) for each product proposed for substitution.

- All product substitutions shall be requested prior to the deadline for RFI's (above).
- All product substitutions shall be submitted via email to the email address for RFI's (above).
- For additional information, the Bidder is directed to both of the following:
  - Instructions to Bidders (00 21 00) paragraph 4, and
  - General Conditions of the Contract (00 72 00), paragraph 2.C.5.

#### Testing

- All testing is solely the Contractor's responsibility.
- Any retesting required because of previous failed/non-passing testing is also solely the Contractor's responsibility.
- The Contractor shall notify the Architect's on-site representative, in writing, at least two days (Monday through Friday) in advance of any field testing.
  - Should the Contractor fail to provide the required advance notification, in writing, to the Architect's on-site representative, the Owner may require the Contractor to perform retesting at Contractor's sole expense.
- All Contractor testing reports/results shall be submitted, immediately upon Contractor's receipt, to the Architect.
- The Owner reserves the right to perform additional testing at Owner's discretion.

#### *Authorities having Jurisdiction*

- As this is a Contract with the Armory Commission of Alabama, **the following entities DO NOT have jurisdiction:**
  - Alabama Department of Finance, Division of Construction Management (formerly the Alabama Building Commission), and
  - City of Anniston, Alabama, and
  - Calhoun County, Alabama.
- **The following entities DO have jurisdiction:**
  - U. S. Occupational Safety and Health Administration (OSHA), and
  - U. S. Environmental Protection Agency (EPA), and
  - Alabama Department of Environmental Management (ADEM), and
  - Alabama Licensing Board for General Contractors, and
  - Alabama Department of Insurance, and
  - Alabama Fire Marshal's Office.

#### Utilities

- The utilities within the limits of work, for structures that will be demolished in this Contract, will be terminated by the Owner no later than the date of the Notice to Proceed (NTP).
- The utilities within the limits of work, for structures that are existing to remain or new construction in this Contract will be the responsibility of the Contractor to pay.

#### Pre-Work Requirements

- Contractor must provide all of the following, simultaneously, no later than the Pre-Construction Conference:
  - Construction Schedule
    - The Schedule shall be in a format that:
      - Readily identifies "critical path items", and

- Shall show completion of the Work within the Contract Time, and
  - Shall be broken down to sufficient detail to show all components of the Work and their relationship with one another.
- Schedule of Values
  - The Schedule of Values shall:
    - Be on the Owner's "Contractor's Periodical Request for Partial Payment" form (00 62 76), and
    - Include each separate allowance as a separate line, and
    - Include a separate line item, in the amount of 2.5% of the Contract Award, labelled "Closeout Documents", and
    - Be broken down to sufficient detail to allow the Architect and Owner to verify the components of the Work.
- Draw Schedule
  - The Draw Schedule shall:
    - Be on the Owner's Form (00 62 83), and
    - Be updated immediately prior to, and submitted with, each Contractor's Periodical Request for Partial Payment.
- Proposed Submittal Schedule
  - The proposed submittal schedule shall contain the proposed submittals name/topic and date of submittal.
- In addition, the Contractor shall submit the following items concurrently with the execution of the Contract, for the Owner's approval:
  - Superintendent – for additional requirements see the General Conditions of the Contract, Paragraph 18, and
  - List of Subcontractors - for additional requirements see the General Conditions of the Contract, Paragraph 40.

#### Retainage

- In accordance with Code of Alabama 39-2-12 (c), retainage in the amount of 5% through the first 50% will be held until contract completion.

#### Project Site Access/Security Issues

- Discuss any issues.
- This is a gun free, drug free installation.
- Work Hours will be Monday through Friday 7:00 to 5:00.

#### Permits

- The Contractor is required to pay all fees for all permits (NPDES, etc.) - to include preparation of permit, filing fees, administrative fees, inspection fees and fees for violations of said permits.
- All permits are to be in the name of the Contractor.

#### Weather Days

- Can be approved if over and above normal for the project location.
- Must be requested monthly by Contractor, on the form at 00 63 56, with back-up documentation.

#### Owner/Architect/Contractor Meetings (OAC's)

- Contractor to hold, provide agenda and run monthly OAC's.
- Required items to discuss at each OAC include:
  - Schedule,
  - RFI's,
  - Change Order Request status,
  - Request for Proposal status,
  - Modification status,
  - Submittal status and logs,
  - As-builts.
- Coordinate date and time with A/E and Owner.
- A/E will send calendar invite to Contractor, A/E team, and Owner team.

#### Superintendent

- Must be a direct employee of the Contractor.
- Must be on-site at all times when work is taking place.

#### Attic Stock

- Attic Stock/Replacement Stock quantities have been defined in 01 78 46.
- Attic Stock must be in delivered and accounted for at the Punch List Inspection

#### Warranty Requirements

- All warranties must comply with all of the following:
  - Laws must be State of Alabama.
  - Venue (for arbitration or lawsuits) MUST be State of Alabama.
  - Must run for the full term as required in the Contract Documents from Final Acceptance.

#### Project Closeout

- Refer to Project Closeout specifications at 01 77 00, 01 78 13 and 01 78 39.
- A line item for 2 ½% retainage for Closeout Documents needs to be included on the Pay App.

#### Punch List Inspection/Final Inspection

- We do not accept substantial completion.
- Punch List Inspection will:
  - Occur once all Work is complete, to include Commissioning and Commissioning reports.
  - Include a review of the O/M manuals and as-builts.
- Final Inspection will:
  - Only be scheduled once the Contractor has certified to the Architect that he has corrected all deficiencies noted on the Punch List Inspection.
  - Include the Contractor providing 2 complete hard sets of the O/M manuals and as-builts to the Owner.
  - Result in the issuance of the Certificate of Final Completion once all requirements of the Contract Documents are met and verified by the Owner.



## Liquidated Damages

- See General Conditions for amounts and application.

## Completion Ad

- The Certificate of Completion must be fully executed by the Contractor, Architect and Owner BEFORE the Completion Advertisement can be run by the Contractor.
- The requirements can be found in the Code of Alabama, 39-1-1 (f).
- Contractor responsible for coordinating, paying all fees and receiving the Publisher's Affidavit.
- The form of advertisement can be found at 00 65 13.
- The sample affidavit can be found at 00 65 15.

## Davis Bacon Act

- Davis Bacon Act does not apply to this project.

## Protection of Surrounding Work

- Contractor to protect adjacent existing items to remain that are not in the contractor's scope of work.
- Should Contractor damage existing to remain work, the Contractor is responsible for returning the work to pre-existing, or better, condition at no expense to the Owner.

## Testing prior to Award

- No one is authorized to perform any testing who is not under contract with the AC. This includes:
  - Geotechnical testing,
  - Penetration of the roof(s),
  - Asbestos surveys/testing.

## Safety

- Safety is SOLELY the Contractor's responsibility.

## Project Overview

- The intent and meaning of the Contract Documents is that the Contractor shall provide labor, plant, materials, supplies, equipment, transportation facilities and appurtenances thereto which are indicated or reasonably implied by the Drawings and Specifications.
- A general description of the Work is as follows:
  - Bid Item A - The complete construction of a new Monument Sign at the Clarke Range Complex (Formerly Pelham Range) and the modification of existing signage and installation of new post and panel signage per the Drawings and Specifications.
  - Alternate #A1 - Complete demolition of the former Guard Shack at the entrance to Clarke Range Complex per the Drawings and Specifications.
  - Bid Item B - The complete construction of a new Transient Training Officer's Quarters (Building 2310) per the Drawings and Specifications.

- Bid Item C - Complete demolition of the existing FMTC Building 1026 the Drawings and Specifications.

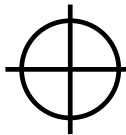
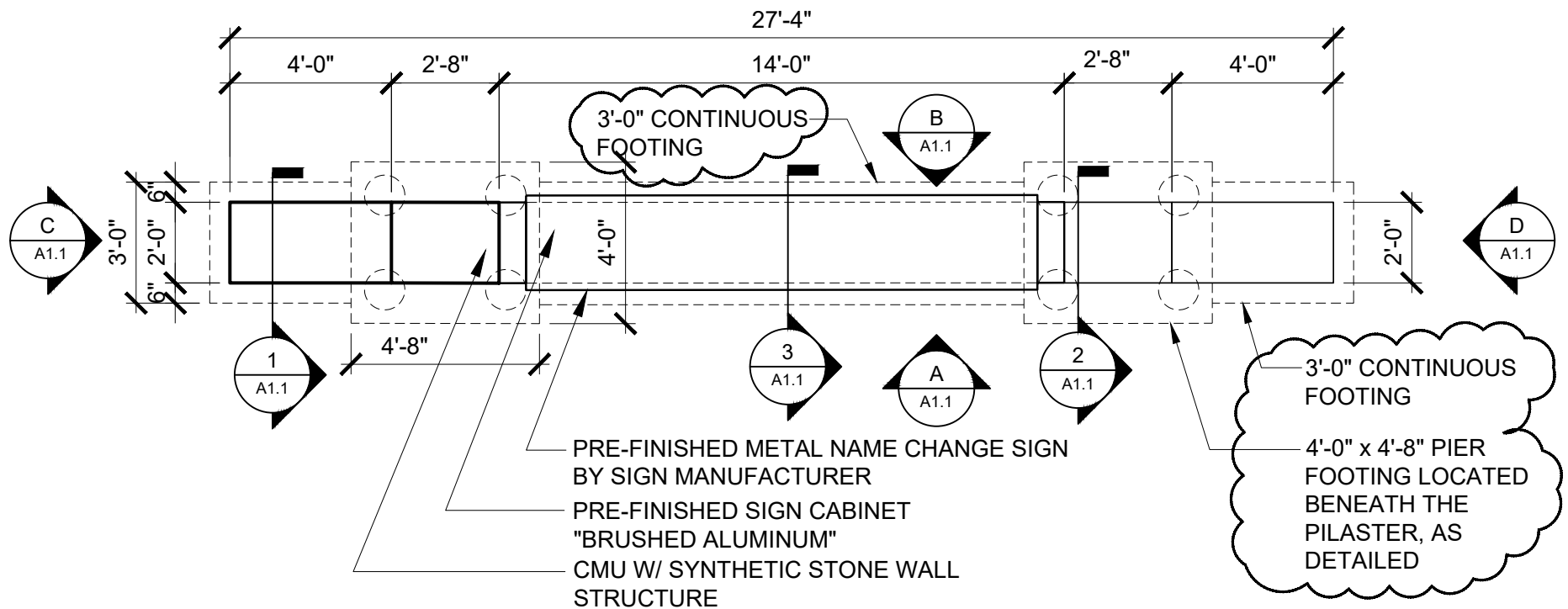
Contract Time

Perform all work in not to exceed **250 Calendar Days** in accordance with the following (calculated as the sum of 3.01.A.1 through 3.01.A.3. [inclusive]):

Site Tour

**Questions asked to be followed by RFI:**

1. Is there any asbestos in the existing Building 1026 that is to be demoed?
2. On the mechanical plans BI.B/P2.1 there is a 4" waste line that shows to Reference civil plans for continuation but is not shown on the civil plans?



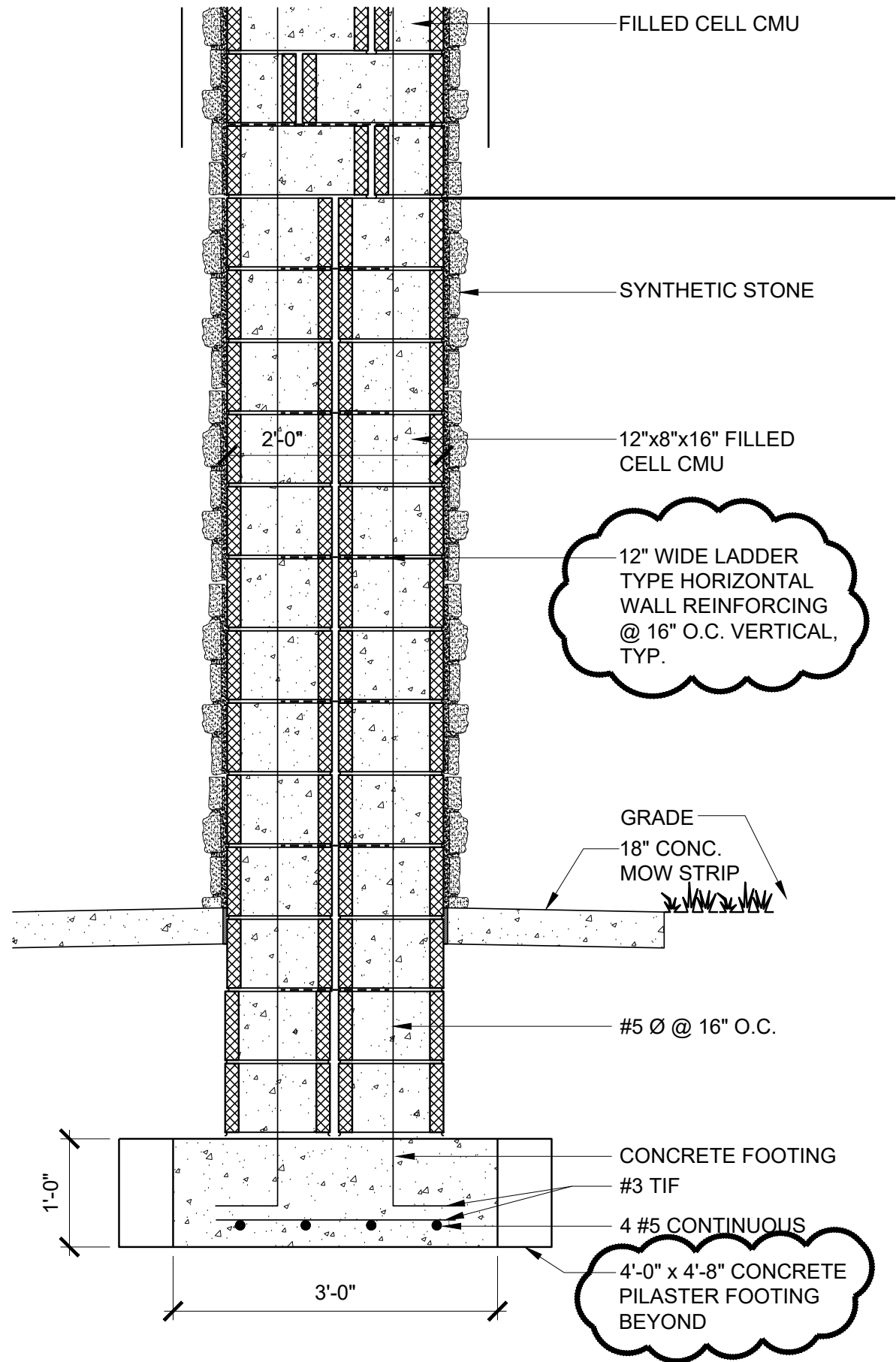
## FLOOR PLAN / FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

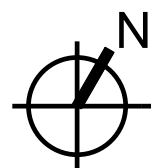
23-1299  
 PELHAM RENAMING EFFORT  
 FT. McCLELLAN, ALABAMA  
 SEPTEMBER 18, 2023  
 SD-1 (REF. DWG. BI.A/A1.1)

**JMR+H**

Architecture, PC

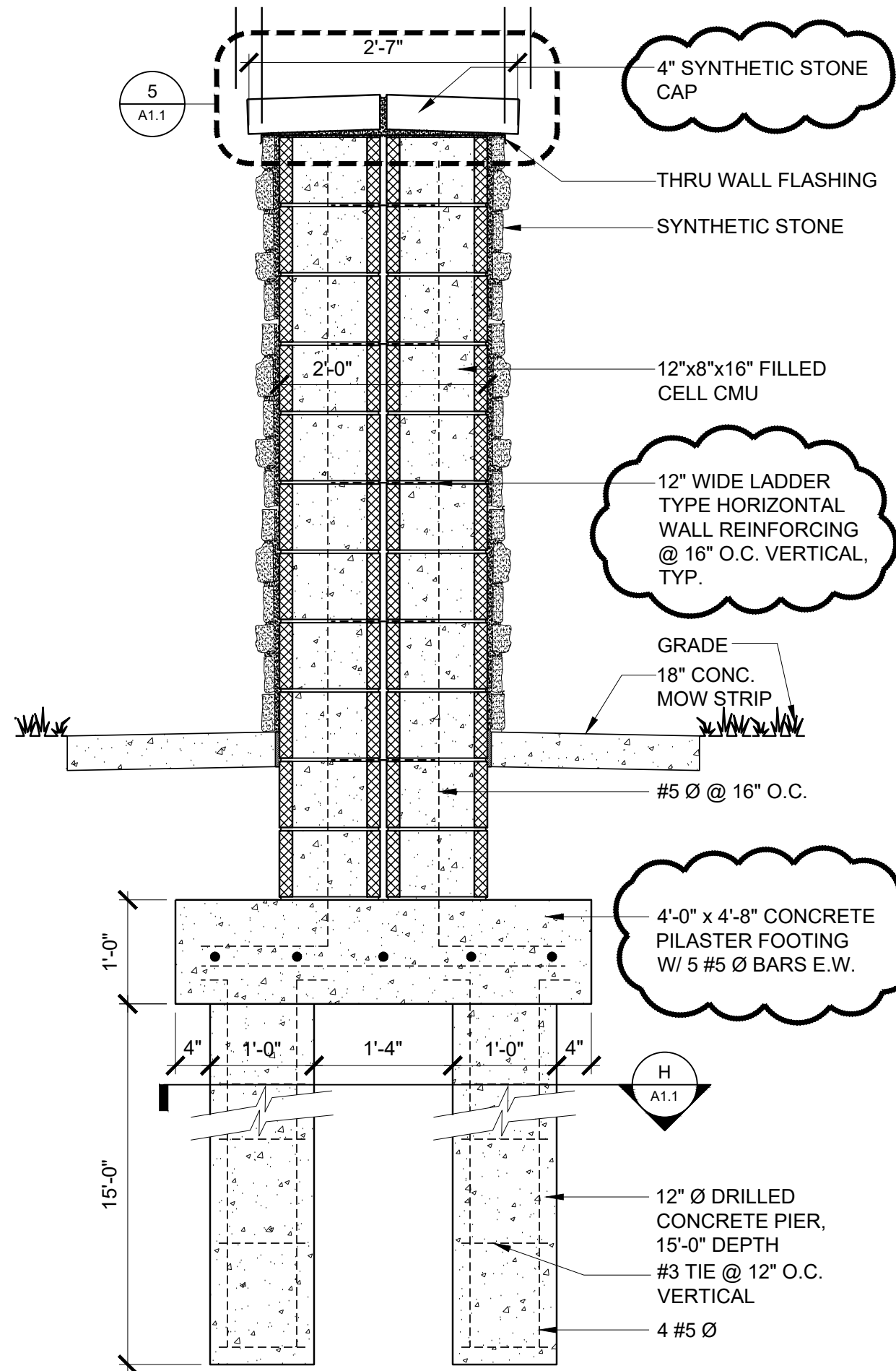


2 / A1.1



# SECTIONS 2/A1.1 & 3/A1.1

SCALE: 1/16"=1'-0"

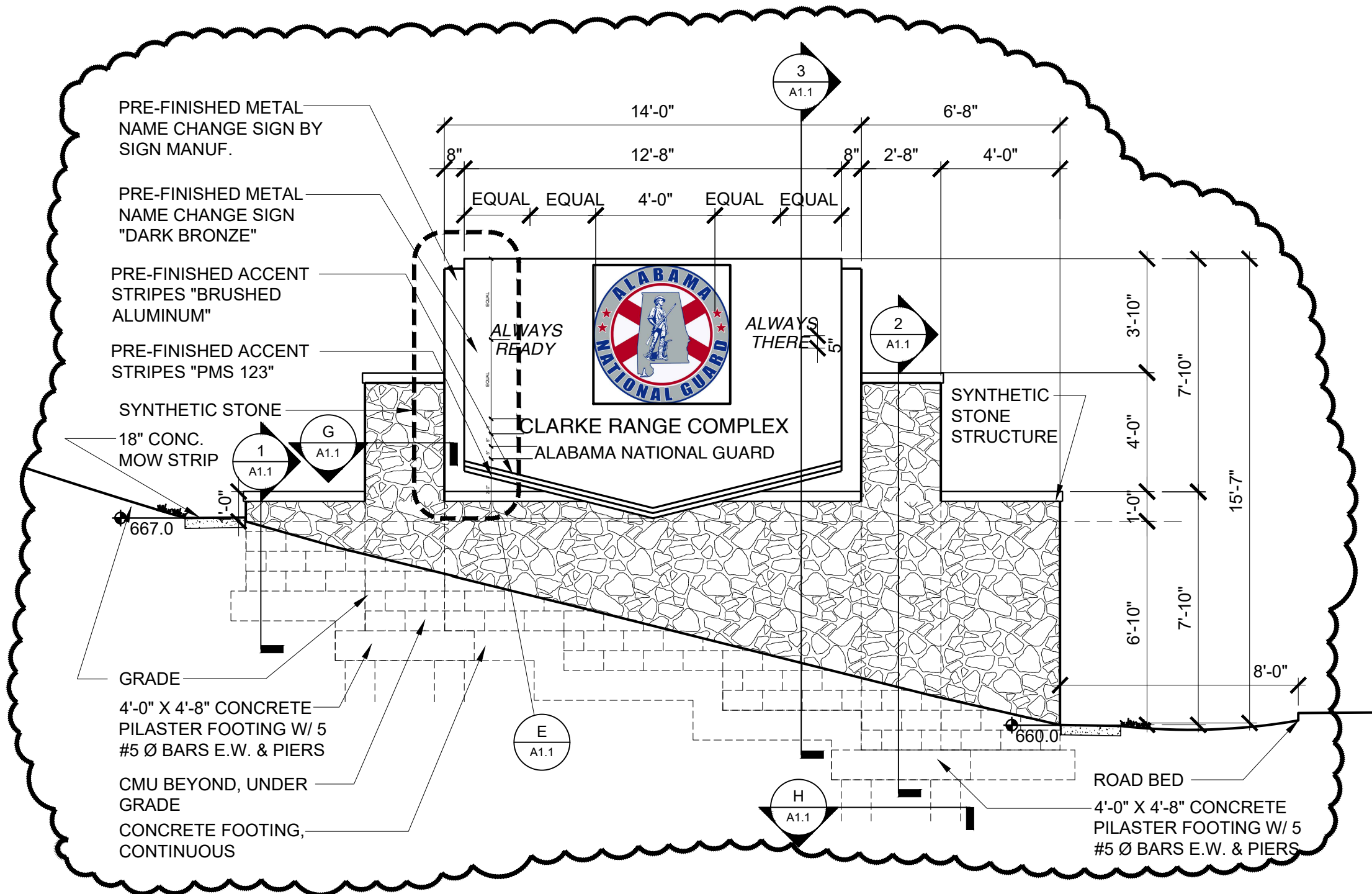


3 / A1.1

23-1299  
 PELHAM RENAMING EFFORT  
 FT. McCLELLAN, ALABAMA  
 SEPTEMBER 18, 2023  
 SD-2 (REF. DWG. BI.A/A1.1)

**JMR+H**

Architecture, P C



# **ELEVATION** SCALE: 1/4" = 1'-0"

23-1299  
 PELHAM RENAMING EFFORT  
 FT. McCLELLAN, ALABAMA  
 SEPTEMBER 18, 2023  
 SD-3 (REF. DWG. BI.A/A1.1)

12" PIER BELOW  
FOOTING

12" WIDE LADDER TYPE  
HORIZONTAL WALL  
REINFORCING @ 16" O.C.  
VERTICAL, TYP.

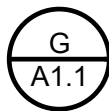
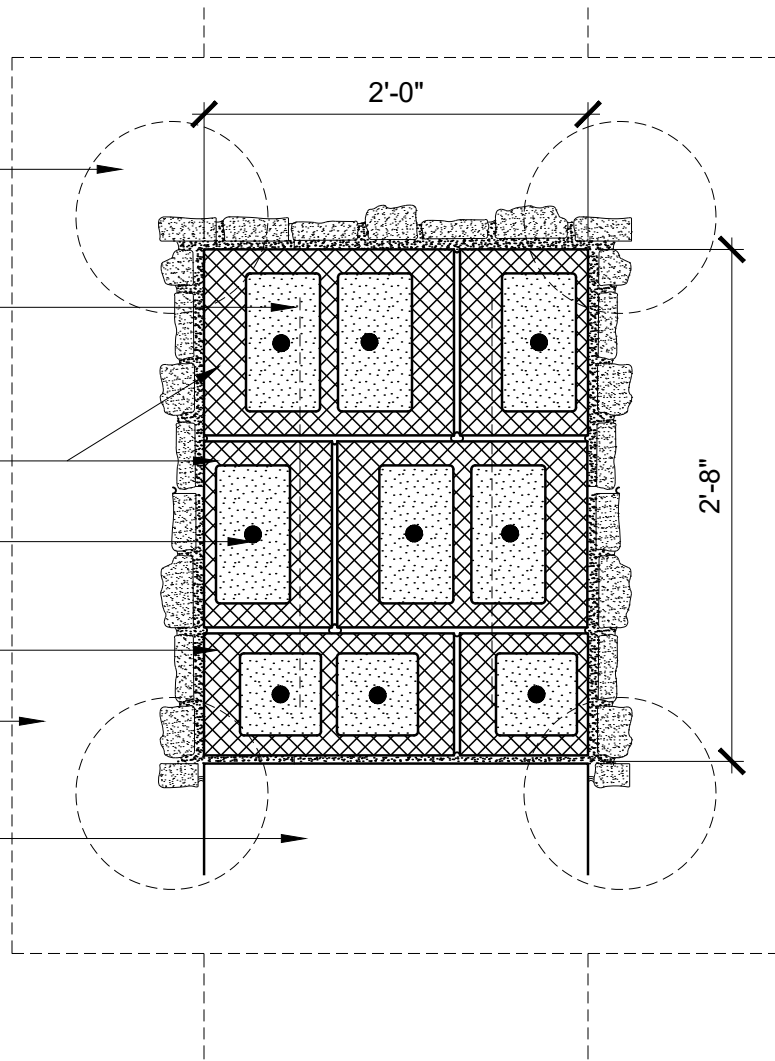
12" x 8" x 16" CMU W/  
FILLED CELLS

#6 Ø EACH CELL, FULL  
HEIGHT

8" x 8" x 16" CMU W/  
FILLED CELLS

4'-0" x 4'-8" CONCRETE  
PILASTER FOOTING W/ 5  
#5 Ø BARS E.W.

PRE-FINISHED SIGN  
CABINET "BRUSHED  
ALUMINUM"



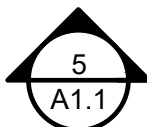
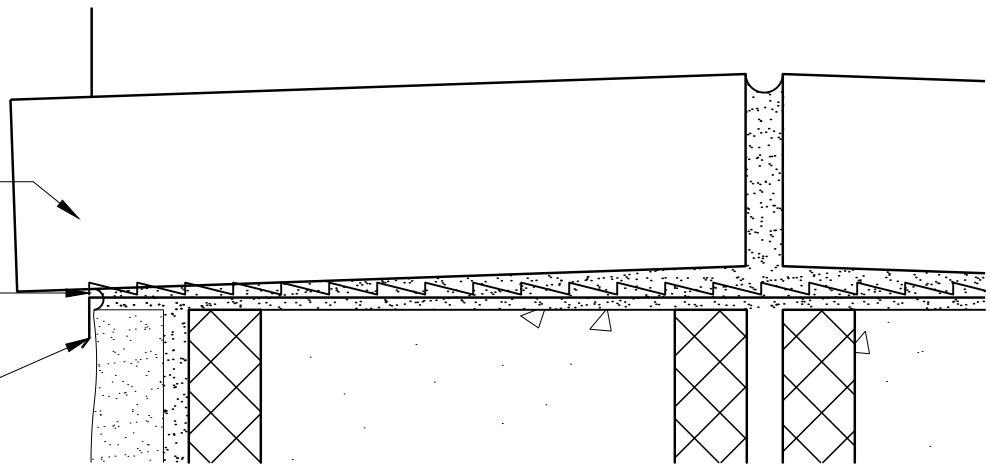
## PILASTER DETAIL

SCALE: 1" = 1'-0"

4" SYNTHETIC STONE  
CAP

METAL LATH SET IN  
GROUT

ICE AND WATER  
SHIELD FLASHING  
(THROUGH ENTIRE  
CAP OF WALL, CONT.)



## DETAIL

SCALE: 3/4" = 1'-0"

23-1299

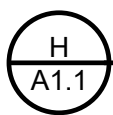
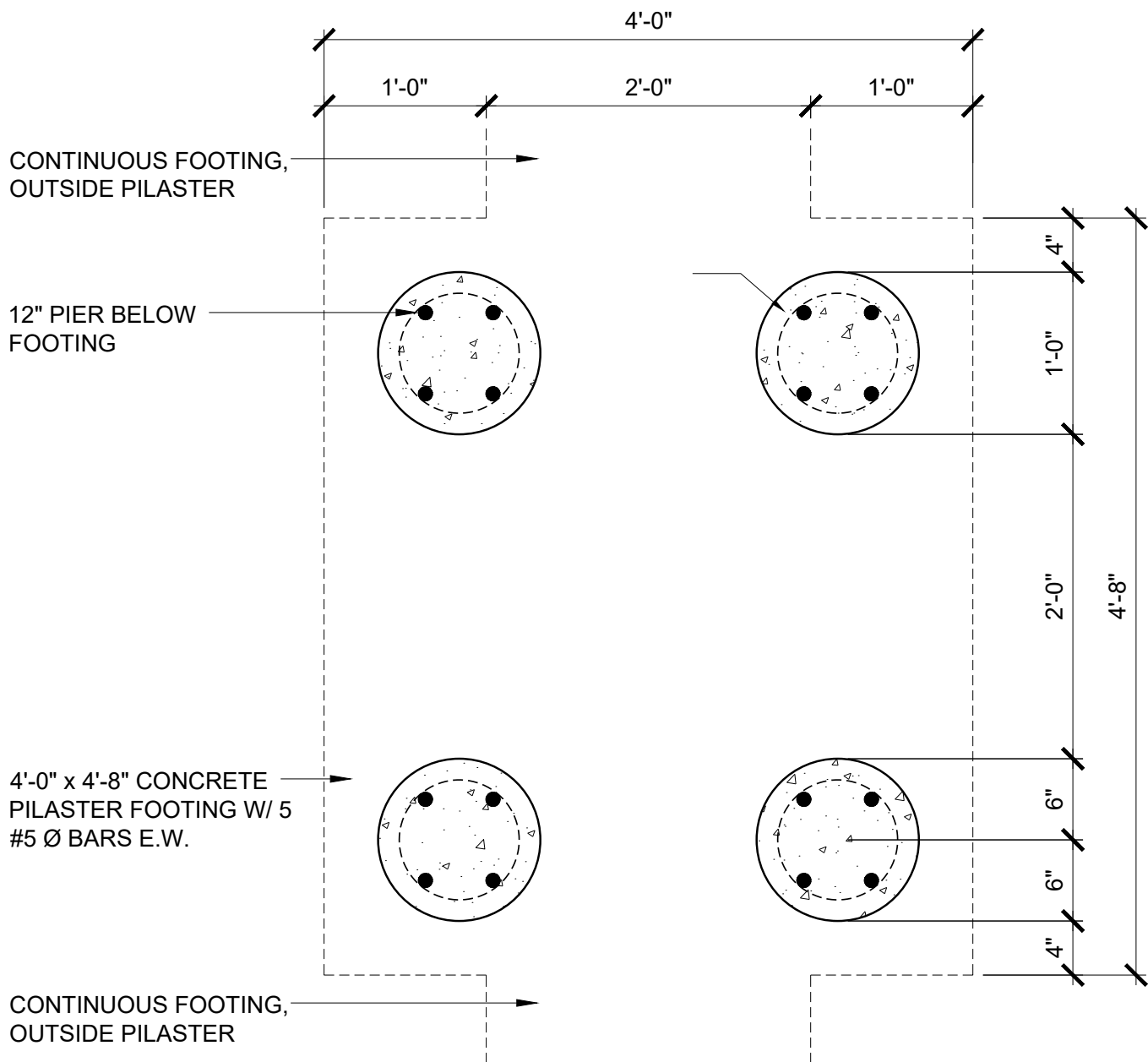
PELHAM RENAMING EFFORT  
FT. McCLELLAN, ALABAMA

SEPTEMBER 18, 2023

SD-4 (REF. DWG. BI.A/A1.1)

**JMR+H**

Architecture, PC



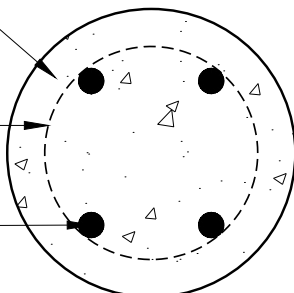
## PILASTER FOOTING / PIER DETAIL

SCALE: 1" = 1'-0"

12" Ø DRILLED  
CONCRETE PIER,  
15'-0" DEPTH

#3 TIE @ 12" O.C.  
VERTICAL

4 #5 Ø



23-1299

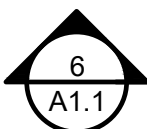
PELHAM RENAMING EFFORT  
FT. McCLELLAN, ALABAMA

SEPTEMBER 18, 2023

SD-5 (REF. DWG. BI.A/A1.1)

**JMR+H**

Architecture, PC



## DETAIL

SCALE: 3/4" = 1'-0"

**SECTION 00 41 00 – PROPOSAL FORM**

(Revision Date: 12 Jan 2021)

IFB # AC-23-B-0016-S

BID OPENING DATE: September 21, 2023

BIDDER \_\_\_\_\_

CONTRACTOR'S LICENSE NO. \_\_\_\_\_

TO: The Armory Commission of Alabama  
State Military Property and Disbursing Officer  
Headquarters, Alabama National Guard  
1720 Cong. W.L. Dickinson Drive  
Montgomery, Alabama 36109-0711

PROJECT: PELHAM RENAMING EFFORT  
FORT McCLELLAN, ALABAMA  
IFB# AC-23-B-0016-S

In compliance with your Invitation for Bids dated 25 August 2023, the undersigned hereby proposes to furnish the plant, labor, materials, and equipment and perform all work for the above-described project in strict accordance with the specifications, drawings, and addenda number \_\_\_\_\_ for consideration of the following prices (bid prices do NOT include Sales or Use Taxes in accordance with Act 2013-205):

**BID**

PERFORM ALL WORK IN ACCORDANCE WITH THE DRAWINGS & SPECIFICATIONS FOR:  
**PELHAM RENAMING FMTC BUILDING 1026 CONSTRUCTION, FORT MCCLELLAN, ALABAMA.**

BID ITEM A: (Installation of new Monument Sign at Pelham Range Entrance) \$ \_\_\_\_\_

ABI-A1 Alt. No. 1: (Demolition of the former Guard Shack) \$ \_\_\_\_\_

BID ITEM B: (Complete construction of new Transient Training Officers' Quarters Building 1026.) \$ \_\_\_\_\_

**Bid Item B Includes \$35,000 Sprinkler Allowance**

ABI-B1 Alt No. 1: (add 2"asphalt wearing surface over crushed stone base at the drive and parking) \$ \_\_\_\_\_

BID ITEM C: (Complete demolition of existing FMTC Building 1026.) \$ \_\_\_\_\_

**ACCOUNTING OF SALES TAX**

Pursuant to Act 2013-205, section 1(g) the Contractor accounts for sales tax NOT in the bid form as follows:

**ESTIMATED SALES TAX AMOUNT**

BID ITEM A: (Installation of new Monument Sign at Pelham Range Entrance) \$ \_\_\_\_\_

ABI-A1 Alt No. 1: (Demolition of the former Guard Shack) \$ \_\_\_\_\_

BID ITEM B: (Complete construction of new Transient Training Officers' Quarters Building 1026.) \$ \_\_\_\_\_

ABI-B1 Alt No. 1: (add 2"asphalt wearing surface over crushed stone base at the drive and parking) \$ \_\_\_\_\_

BID ITEM C: (Complete demolition of existing FMTC Building 1026.) \$ \_\_\_\_\_

**Failure to provide an accounting of sales tax shall render the bid non-responsive. Other than determining responsiveness, sales tax accounting shall not affect the bid pricing nor be considered in the determination of the lowest responsible and responsive bidder.**



TIME LIMIT: These bids are subject to an acceptance period of thirty (30) days.

IFB # AC-23-B-0016-S

BIDDER \_\_\_\_\_

A. All amounts and totals given will be subject to verification by the State. In case of variation between unit bid price and total shown by bidder, the unit price will be considered to be his bid. The State reserves the right to award the work on the basis of any bid or any combination of bids and to increase or decrease the quantities of any item listed in this bid at the price quoted for that particular item.

B. Bids shall be for the entire work and shall have each blank space filled in to include the "Estimated Sales Tax Accounting".

C. The quantities of each item of the bid as finally ascertained at the close of the contract will determine the total payment to accrue under the contract.

D. The bidder, upon request of written notice of award of the contract within thirty (30) days after the date of opening of bids, agrees that he will execute the construction contract in accordance with this bid as accepted, and if the consideration of the contract will exceed \$50,000.00 in amount, will furnish to the State a Performance Bond and a Payment Bond on AGO Forms, with good and sufficient surety or sureties as required by the specifications, at the time the contract is executed.

E. It is hereby warranted that in the event award is made to the undersigned, there will be furnished under this contract or used in the performance of the work covered by this contract, only such unmanufactured articles, materials, and supplies as have been mined or produced in the United States, and only such manufactured articles, materials, or supplies mined, produced or manufactured, as the case may be, in the United States, except as indicated in the bid documents..

F. The bidder further agrees that if awarded the contract, he will commence work within ten (10) calendar days after notice to proceed date and that he will fully complete the work ready for use not later than **250 calendar days** after notice to proceed date.

FIRM NAME \_\_\_\_\_

ADDRESS \_\_\_\_\_

\_\_\_\_\_

PHONE \_\_\_\_\_

FAX \_\_\_\_\_

EMAIL \_\_\_\_\_

BY \_\_\_\_\_

*SIGNATURE*

PRINTED NAME \_\_\_\_\_

TITLE \_\_\_\_\_

STATE OF ALABAMA

CONTRACTOR'S LICENSE NO. \_\_\_\_\_

**NOTES:**

All bidders must be licensed under the provisions of Title 34, Chapter 8, Code of Alabama, 1975, as amended.

**On projects bid at \$50,000.00 or more, the bidder must include his license number on the bid form in the prescribed place and on the outside of the envelope containing the bid, or otherwise the bid will not be considered.**

**Bid Prices do not include Sales or Use Taxes but these taxes are identified in the Estimated Sales**