

DOCUMENT 00902 – ADDENDUM NUMBER TWO

DATE: November 17, 2023

PROJECT: **MARTIN LUTHER KING JR. RECREATION CENTER**
705 14th Court East – Panama City, Florida 32401

FROM: CCR Architecture & Interiors
2920 First Avenue South - Birmingham, Alabama 35233

TO: Prospective Bidder

This addendum forms a part of the Contract Documents and modifies the original Construction Documents Dated May 18, 2023, as noted below.

CLARIFICATIONS:

1. **List of Subcontractors** – Yes, the low bidder shall be allowed a maximum of three days after the bid opening to provide a list of Subcontractors to the City of Panama City, Florida.
2. **Revised Sheet C-4 Federally Funded Boundary Area** – Refer to attached Revised Sheet C-4 Federally Funded Boundary Area, Addendum #2/Revision #1 dated 11/16/23 showing a cross-hatch area denoting the Federally funded boundary area of the project.
3. **Lump Sum Bid Amount – Yes**, the lump sum bid amount on Page 72 must match the sum of the total breakdowns of the Non-federally funded scope on Page 75 and Federally funded scope on Page 79.

(The "TOTAL FEDERALLY FUNDED" box at the top of Page 79 should be the total of all federally funded work. Same for the top of Page 75, "TOTAL NON-FEDERALLY FUNDED." The bidder should take the sum from Page 79 "TOTAL FEDERALLY FUNDED" and the sum from Page 75 "TOTAL NON-FEDERALLY FUNDED," add them together and put on Page 72.)

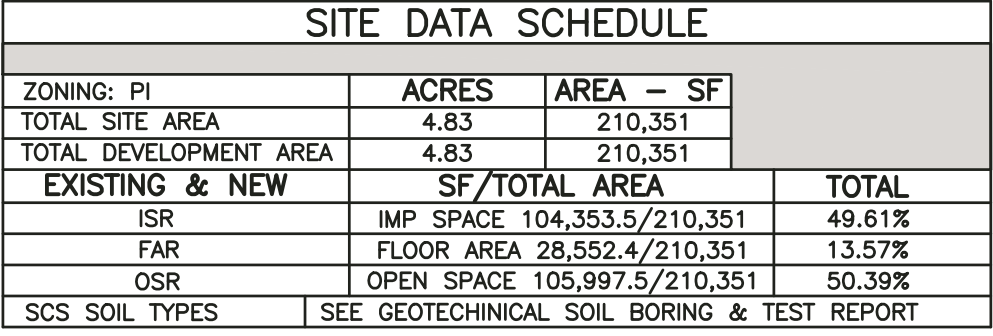
No, substitutions and removal items will not factor into the lump sum bid amount on page 72.

(Per Page 72: "Total stipulated sum is non-federally funded and federally funded totals combined. The above amount may be modified by the Owner in the amount indicated by the Bidder for alternates and building alternates." To clarify, "alternates and building alternates" include Alternate/Substitutions, Alternate/Delete, and Mitigation Alternates bid sections.)

END OF DOCUMENT 00902

Attachments:

- **Revised Sheet C-4, Addendum #2/Revision #1 dated 11/16/23 is available upon request to purchasing@panamacity.gov**



BUFFER: — — —
10' BUFFER ALONG STREETS & HIGHWAYS
5' BUFFER ALONG RESIDENTIAL

BUILDING SETBACKS:
FRONT: 15'

REAR: 10'25'
ALONG ROADS: 20'

FLOOR AREA RATIO
70%

IMPERVIOUS SURFACE
90%

MAX. BUILDING HEIGHT
NONE

PARKING STALL REQUIREMENT
STANDARD STALL 9'min.X20'min.
HC STALL 12'min.X20'min. W/F ISIF


















HC VAN STALL 12minX20min. W/8' ISLE
(90° PARKS)

PROJECT DESCRIPTION:
GYMNASIUM 1 SPACE PER 3 SEATS
(300, 25, 1, 50)

COMMUNITY CENTER 1 SPACE PER 200 SQ. FT.
(12,000 SQ. FT.)
REQUIRED = 60 (5 HC)

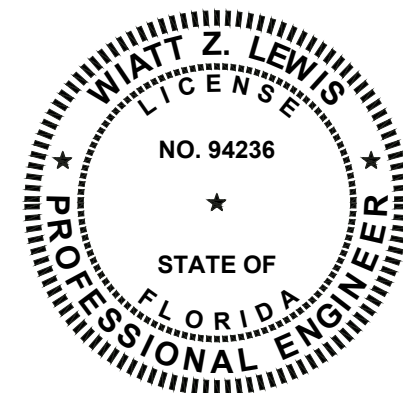
PROVIDED = 86 (6 HC)


LEGEND

- | | |
|---|--------------------------------------|
|  | PROPOSED CONSTRUCTION |
|  | EXISTING TO REMAIN |
|  | EXISTING GUY ANCHOR |
|  | EXISTING POWER POLE |
|  | SIGN |
|  | EXISTING FIRE HYDRANT |
|  | HANDICAP PARKING |
|  | R/W RIGHT OF WAY |
|  | EOP EDGE OF PAVEMENT |
|  | CENTERLINE |
|  | UNLESS NOTED OTHERWISE |
|  | DETECTABLE WARNING SURFACE |
|  | PROPOSED ASPHALT PAVEMENT |
|  | PROPOSED HEAVY DUTY ASPHALT PAVEMENT |
|  | PROPOSED CONCRETE |
|  | DETECTABLE WARNING SURFACE (DWS) |
|  | TREE TO REMAIN |

- ## SITE NOTES

1. ALL EXISTING UTILITY LOCATIONS AND ELEVATIONS SHALL BE FIELD VERIFIED PRIOR TO THE START OF CONSTRUCTION.
2. CONTRACTOR TO NOTIFY ENGINEER IMMEDIATELY UPON IDENTIFICATION OF CONFLICTS.
3. ALL EXISTING UTILITIES, STRUCTURES, ETC., ARE SHOWN ON THIS SHEET.
4. ALL TRAFFIC STRIPING TO BE THERMOPLASTIC PER FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION LATEST EDITION. (WAIT MINIMUM OF 30 DAYS AFTER ASPHALT CONCRETE PLACEMENT TO PLACE PERMANENT THERMOPLASTIC MARKINGS. TEMPORARY STRIPING TO BE PAINTED STOP BAR ONLY.)
5. ALL TRAFFIC SHALL BE GRADED UP TO 1% TO 2% MAXIMUM SLOPE. HYDROSEED SLOPES 4:1 A FLATTER, SLOPES STEEPER THAN 4:1. ALL SLOPES TO BE STAGGERED & PINNED.
6. PLACE SOD ALONG EDGES OF NEW DRIVEWAY (30" MIN. WIDTH).
7. NO DAYTIME LAKE CLOSURES ALLOWED.
8. CONTRACTOR TO FIELD VERIFY ALL UTILITY ABOVE OR BELOW GROUND AND NOTIFY ALL UTILITY COMPANIES 2 DAYS PRIOR TO CONSTRUCTION.
9. FOR MAINTENANCE OF TRAFFIC CONTROL THROUGH WORK ZONES, REFER TO FDOT STD. PLANS INDEX 102-612 & 102-613 AS APPLICABLE.
10. ALL DEMOLISHED MATERIALS (i.e. SIGNS, CONCRETE, ASPHALT, ETC.) TO BE REMOVED AND DISPOSED OF IN LEGAL MANNER.
11. TECHNICAL REQUIREMENTS SHALL BE IN ACCORDANCE WITH CITY CRITERIA. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE AND SCHEDULE ALL TESTS.
12. ALL REGULATORY TRAFFIC SIGNAGE TO BE INSTALLED PER FEDERAL HIGHWAY ADMINISTRATION MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES LATEST EDITION.
13. THE CONTRACTOR SHALL REFER TO CITY CODE STANDARDS AND DETAILS LOCATED ON THE CITY OF PANAMA CITY OFFICIAL WEBSITE, <http://www.panama.city.fl.us> WHICH SUPERCEDES ALL NOTES AND DETAILS UNLESS NOT AS STRINGENT.



SCALE: AS NOTED		
DESIGNED BY: CBF		
DRAWN BY: JAH		
REVIEWED BY: CBF		
ISSUE DATE: JUNE 2023		
FILE NAME: 130662.dwg	ENVIRONMENTAL ENGINEERS • CIVIL ENGINEERS • LAND PLANNERS 600 Ohio Avenue Lynn Haven, Florida 32444 (850) 763-5200 www.panhandleengineering.com	
FEDERALLY FUNDED BOUNDARY LINE MARTIN LUTHER KING JR., RECREATION CENTER 701 14TH COURT EAST PANAMA CITY, FL 32401		SHEET NUMBER C-4 PROJECT NUMBER 13066