

**ADDENDUM NUMBER**

**06**

**April 1, 2024**

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**PROJECT: MORGAN COUNTY EVENTS CENTER  
ARCHITECT: GOODWYN MILLS CAWOOD  
OWNER: MORGAN COUNTY COMMISSION**

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**AD6-1 GENERAL:**

- A. The following revisions and/or additions to the Drawings and Project Manual are hereby made a part of same, and shall be incorporated in the Work of the Contract the same as if originally included in the Bid and Construction Documents.
- B. Bidders shall acknowledge receipt of this Addendum in writing, as provided on the Proposal Form.
- C. When a revision and/or addition is called for to the Drawings or Project Manual, they shall be fully coordinated with and carried through all applicable Drawings and portions of the Project Manual, including in part, all related Civil, Landscaping, Architectural, Structural, Plumbing, Mechanical, Electrical, and other Documents.

**AD6-2 CLARIFICATIONS:**

- A. Prior clarifications regarding downspouts to be disregarded. **Per this Addendum 6: Tie in downspouts per attached Civil drawings.**
- B. Disregard previous note on C-601 for "permanent seeding." **Per this Addendum 6: C-601, note #6 seeding will be "Zoysia sod" or as noted on the sheet.**

**AD6-3 DRAWINGS**

**Drawings Removed:**

- A. C-201 (Addenda 2 - 3.15.2024)
- B. C-601 (Issue date - 2.15.2024)
- C. C-903 (Addenda 2 - 3.15.2024)
- D.

**Drawings Added:**

- A. C-201 Site Grading Plan
- B. C-601 Erosion and Sediment Control Plan
- C. C-903 Construction Details

**AD6-4 SPECIFICATION**

- A.

**AD6-5 MISC**

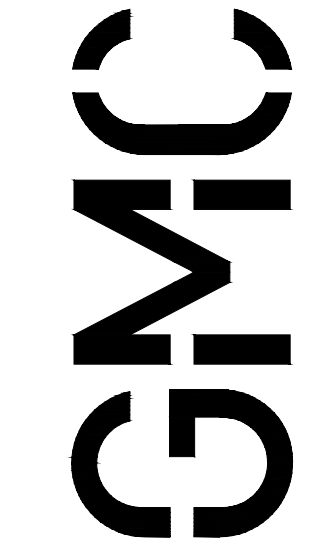
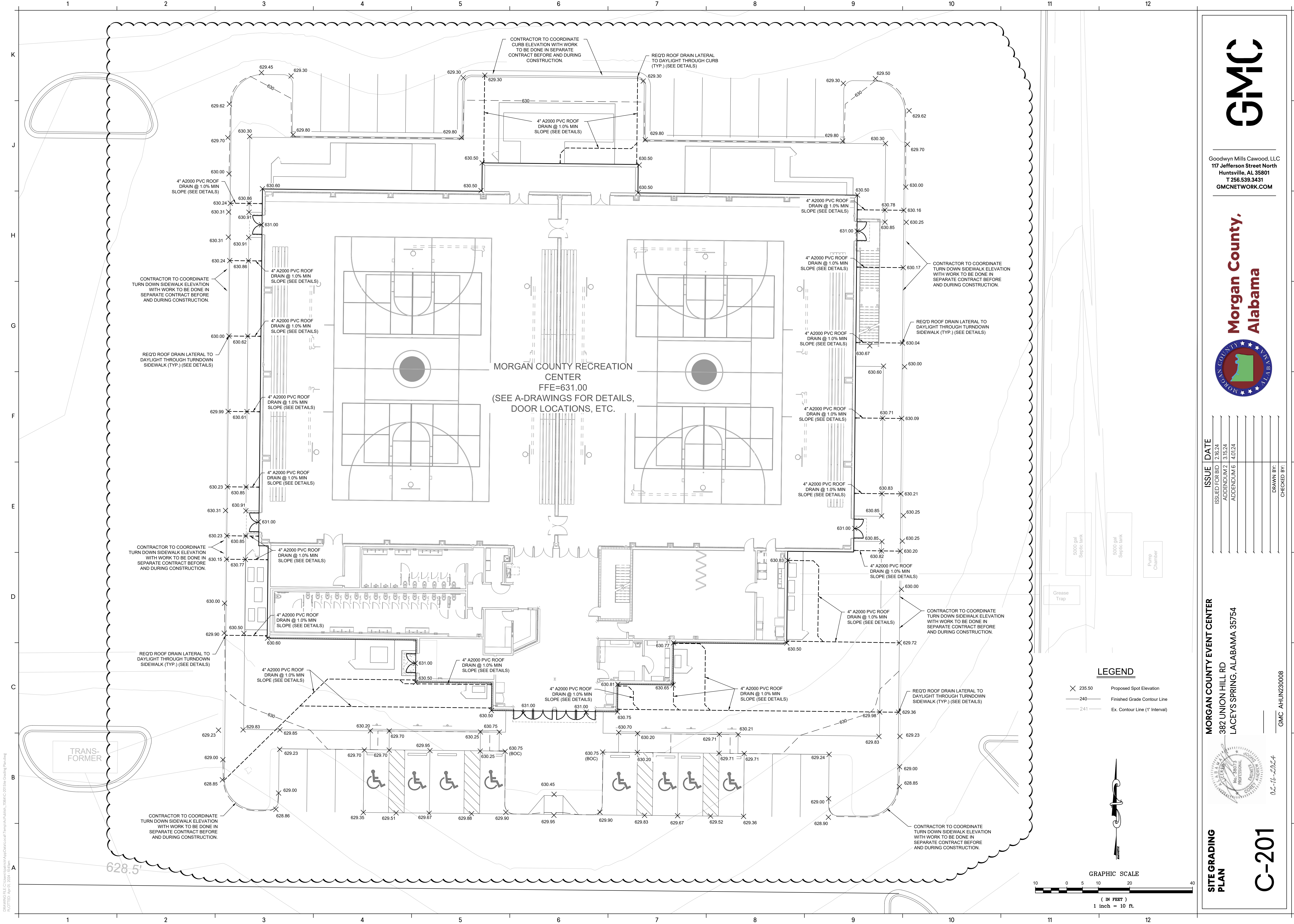
- A. Attachment A – Unit Prices

**AD6-6 RFIs & QUESTIONS**

- A. Master\_MorganCoEvent RFI Log (4.1.2024) GMC.PDF

END OF ADDENDUM 6





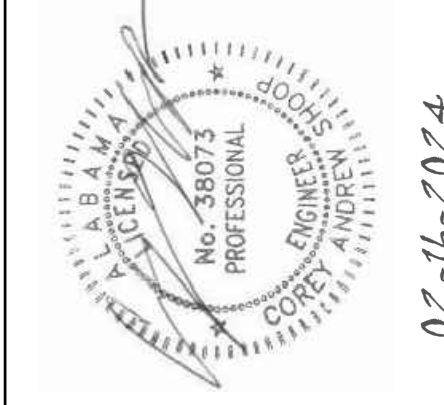
Goodwyn Mills Cawood, LLC  
117 Jefferson Street North  
Huntsville, AL 35801  
T 256.539.3431  
GMCNETWORK.COM

**Morgan County,  
Alabama**



	ISSUE	DATE
	ISSUED FOR BID	2.16.24
	ADDENDUM 2	3.15.24
	ADDENDUM 6	4.01.24
	DRAWN BY:	
	CHECKED BY:	

**MORGAN COUNTY EVENT CENTER**  
382 UNION HILL RD  
LACEY'S SPRING, ALABAMA 35754

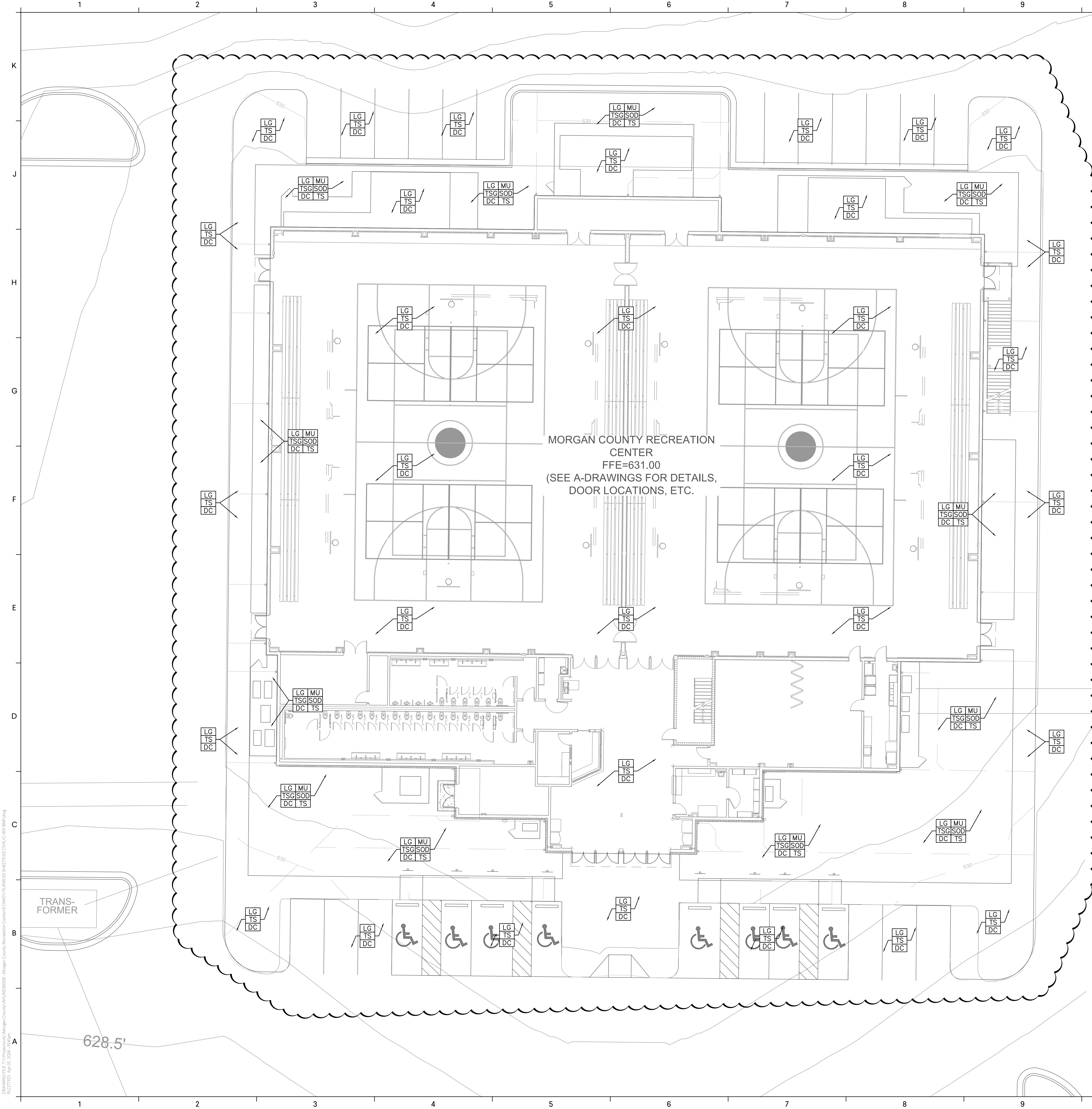


# SITE GRADING PLAN

C-201

GMC AHUN230008



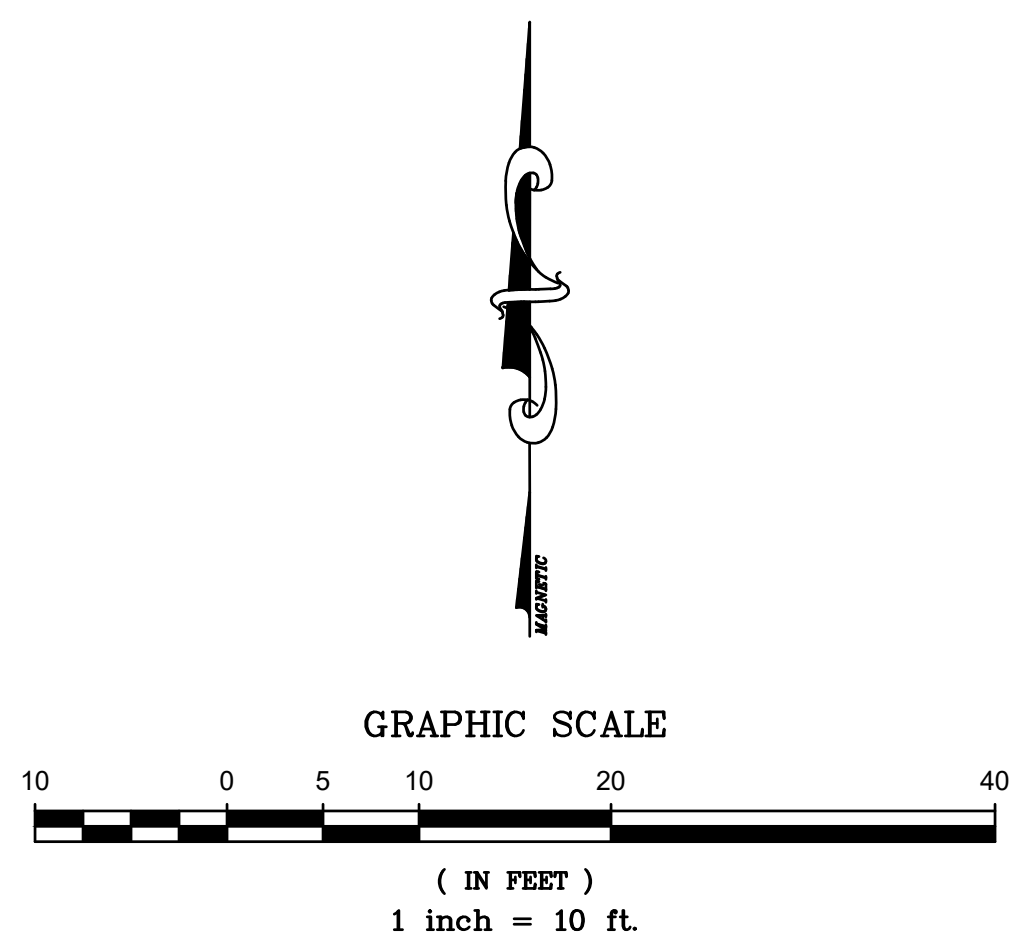


## BEST MANAGEMENT PRACTICES NOTES

3. OTHER THAN LAND-CLEARING ACTIVITIES REQUIRED TO INSTALL THE APPROPRIATE BMP IN ACCORDANCE WITH THE BMP PLAN, THE CONTRACTOR SHALL MAINTAIN ALL EROSION CONTROL MEASURES ON-SITE. STREAM CHANNEL PROTECTION AND UPSTREAM DIVERSION OF DRAINAGE REQUIRED BY THE BMP PLAN SHALL BE IN PLACE AND FUNCTIONAL BEFORE ANY EROSION CONTROL MEASURES ARE INSTALLED. EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION PERIOD. TEMPORARY MEASURES MAY BE REMOVED AT THE BEGINNING OF THE WORKDAY, BUT SHALL BE REPLACED AT THE END OF THE WORKDAY WITH WRITTEN PERMISSION FROM THE OWNER/OFFICIAL. THE CONTRACTOR SHALL MAINTAIN EROSION CONTROL MEASURES IN PLACE THROUGHOUT THE CONSTRUCTION PERIOD.
4. THE ANGLE FOR GRADED SLOPES AND FILLS SHALL BE NO GREATER THAN THE ANGLE WHICH CAN BE RETAINED BY VEGETATIVE COVER OR OTHER ADEQUATE EROSION CONTROL DEVICES OR STRUCTURES. ANY SLOPE OR FILL WHICH IS NOT STABILIZED WITH VEGETATION OR OTHER ADEQUATE EROSION CONTROL DEVICES OR STRUCTURES WITHIN ANY PHASE OF GRADING, BE PLANTED OR OTHERWISE BE PROVIDED WITH GROUND COVER, MATERIALS, DEVICES, OR STRUCTURES TO PREVENT EROSION. THE BMP'S SHALL REMAIN IN PLACE IN ACCORDANCE WITH THE BMP PLAN UNTIL THE GRADED SLOPE OR FILL IS ESTABLISHED.
5. ALL CONTROL MEASURES SHALL BE CHECKED, AND REPAIRED AS NECESSARY, MONTHLY IN DRY PERIODS, AND WITHIN 24 HOURS AFTER ANY RAINFALL AT THE SITE OF 75+ INCHES WITHIN A 24 HOUR PERIOD. DURING PROLONGED RAINFALLS, DAILY INSPECTIONS WILL BE REQUIRED. THE CONTRACTOR SHALL MAINTAIN RECORDS OF ALL INSPECTIONS AND REPAIRS OF SUCH CHECKS AND REPAIRS, WHICH RECORDS SHALL BE SUBJECT TO THE INSPECTION OF THE OFFICIAL AT ANY TIME.
6. CONTROL MEASURES SHALL BE MAINTAINED AS AN EFFECTIVE BARRIER TO SEDIMENTATION AND EROSION IN ACCORDANCE WITH THE PROVISIONS OF THIS ORDINANCE.
7. ALL BEST MANAGEMENT PRACTICES SHALL BE DEVELOPED AND MAINTAINED BY THE CONTRACTOR ACCORDING TO THE ALLIANCE HANDBOOK FOR EROSION CONTROL, SEDIMENT CONTROL, AND STORM WATER MANAGEMENT FOR THE CITY OF CHICAGO. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND FAMILIARIZING HIMSELF WITH THE ALLIANCE HANDBOOK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE HANDBOOK. THE HANDBOOK MAY BE PURCHASED FROM THE ALLIANCE CHAPTER OF THE SOIL AND WATER CONSERVATION SOCIETY.
8. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED ACCORDING TO ALL PROVISIONS OF THE ORDINANCE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPLACEMENT AND/OR SUPPLEMENTATION OF ANY CONTROL MEASURES THAT ARE NOT MAINTAINED PROPERLY. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHOWN ON THE PLANS SHALL BE CONSIDERED A MINIMUM.

## NOTES

1. ALL LANDSCAPING AREAS SHALL BE AS PER THE LANDSCAPE DRAWING.
2. ALL REGRADED AREAS NOT TO BE PAVED OR SODDED, SHALL BE SEEDED AND MULCHED ACCORDING TO A.L.D.O.T. PERMANENT SEEDING SCHEDULES.
3. ALL BEST MANAGEMENT PRACTICES SHOWN SHALL BE CONSIDERED A MINIMUM, THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING THE BMP'S ACCORDING TO ALL ADEMPA STANDARDS & SPECIFICATIONS.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING, REPAIRING AND SUPPLEMENTING THE BMP'S SHOWN IN ORDER TO COMPLY W/ THE NPDES PERMIT FOR THIS SITE.
5. THE CONTRACTOR SHALL MAINTAIN ALL BMP'S UNTIL AN ACCEPTABLE STAND OF GRASS HAS BEEN ACHIEVED AND A NOTICE OF TERMINATION HAS BEEN FILED W/ IDEM.
6. AREAS DESIGNATED TO BE SODDED SHALL BE SODDED WITH EMERALD ZOYSIA GRASS AS PER OWNER'S DIRECTION.



## EROSION AND SEDIMENTATION CONTROL LEGEND

Site Preparation		Runoff Conveyance	
CEP	Construction Exit Pad	CD	Check Dam
LG	Land Grading	DV	Diversion Channel
TSG	Top soiling	DRS	Drop Structure
<u>Surface Stabilization</u>		GS	Grass Swale
CHS	Chemical Stabilization	LS	Lined Swale
DSF	Dune Sand Fence	OP	Outlet Protection
DVP	Dune Vegetation Planting	RS	Riprap-lined Swale
DW	Dune Walkerover	SD	Subsurface Drain
DC	Dust Control	TDS	Temporary Slope Drains
ECB	Erosion Control Blanket	<u>Sediment Control</u>	
GK	Grounds keeping	BIP	Block and Gravel Inlet
MU	Mulching	BFB	Brush/Fabric Barrier
PS	Permanent Seeding	EIP	Excavated Drop Inlet Protection
PV	Preservation of Vegetation	FIP	Fabric Drop Inlet Protection
RW	Retaining Wall	FS	Fiber Sack
SVG	Shrub, Vine and Ground cover Plantings	DS	Dandy Sack
SOD	Sodding	FB	Floating Turbidity Barrier
TS	Temporary Seeding	RD	Rock Filter Dam
TP	Tree Planting on Disturbed Areas	SB	Sediment Barrier
CFM	Cotton Fiber Matrix Hydroseeding	SBN	Sediment Basin
<u>Stream Protection</u>		SST	Straw Bale Sediment Trap
BZ	Buffer Zone	TST	Temporary Sediment Trap
CS	Channel Stabilization	SL	Sediment Log (20") / Wattle
SP	Stream bank Protection	HIF	HDPE Inlet Filter
TSC	Temporary Stream Crossing	PFL	Anionic Polyacrylamide Storm Water Flocculant Log
BG	Baffle Grid	PPF	Anionic Polyacrylamide Storm Water Flocculant Powder
		<u>Storm water Management</u>	
		PP	Porous Pavement
		SDB	Storm Water Detention Basin
		TRE	Temporary Inlet Riser Extension







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CONTRACTOR

**ATTACHMENT A**  
**TO PROPOSAL FORM**

**1.1 UNIT PRICES:**

- A. The undersigned proposes the following Unit Prices for additions to or deductions from the Work wherein Unit Prices are applicable as determined by the Architect and Owner. These Unit Prices include all charges for labor and materials, fee, layout, supervision (field and home office), general expenses, taxes, insurance, overhead and profit, for Unit Item of Work in place. The Contract sum shall be increased or decreased based upon quantity difference multiplied by the applicable Unit Price, in accordance with the General Conditions.
- B. Refer to Section 01 2200  
the complete Unit Price Item description.
- C. Submit the following Unit Prices with the Proposal Form on Bid Date.

ITEM DESCRIPTION:		UNIT:*	UNIT PRICE:
1.	Mass Earth Excavation	CY	\$ _____
2.	Trench Earth Excavation	CY	\$ _____
3.	Hand Earth Excavation	CY	\$ _____
4.	Additional Soil:		
	a. Topsoil	CY	\$ _____
	b. General or Open Site Areas (Offsite Source)	CY	\$ _____
	c. General or Open Site Areas (Onsite Source)	CY	\$ _____
	d. Trench Backfill	CY	\$ _____
	e. Select Fill (Offsite Source)	CY	\$ _____
	f. Select Fill (Onsite Source)	CY	\$ _____
5.	Rock, Masonry, or Concrete Excavation in Trenches and Pits, below elevations indicated:	CY	\$ _____
6.	Rock, Masonry, or Concrete Excavation in Open Excavation, below elevations indicated:	CY	\$ _____
7.	Sod	SY	\$ _____
8.	Concrete Mud Footings	CY	\$ _____

9.	Undercut & Backfill in Building Control Areas Quantity to Earthwork Allowance: 1000 CY	CY	\$ _____
10.	Undercut & Backfill in Non-Building Control Areas	CY	\$ _____
11.	Crushed Stone	TN	\$ _____
12.	Concrete Sidewalk	SF	\$ _____
13.	VCT Flooring	SF	\$ _____
14.	Gypsum Board Ceiling	SF	\$ _____
15.	Painting (Wall)	SF	\$ _____
16.	Painting (Ceiling)	SF	\$ _____
17.	Sealed Concrete	SF	\$ _____

**END OF ATTACHMENT A TO PROPOSAL FORM**

Project #: AHUN230008  
Project: Morgan County Event Center  
Location: Lacey's Spring, AL

Updated: 4/1/24

REQUEST FOR INFORMATION LOG									
No.	Scope	Sheet or Spec	Note or Detail	Date Sent	Comment	Source	Discipline (Structural, Interior Design, etc.)	Architect / Owner Response	Addendum & Date
BID SET (2/15/23)									
1				2/29/2024	Will Simplex Fire Alarm System be allowed for this project? Please advise. The following items are missing from the Specification Manual:	Dominguez Design-Build	Electrical	No. You can submit a substitution to be considered.	
2				3/1/2024	Section 2.01- General Requirements G-01 3010: RFI Form G- 01 3020: Transmittal Form  Section 2.07- Openings 08- Door Hardware Specs  Section 2.13- Special Construction 13- Pre-Engineered Metal Building Specs	Carmon Construction	Architecture	See Addendum #1 for Div 13. You can submit RFIs on your own form. See Addendum #3 for Door Hardware Specification	
3				3/1/2024	After taking a look through the spec's, it looks like General Shale is a listed manufacturer (see 2.02 BRICK UNITS). Do you know if the architect has a specific face style in mind besides it being a velour?  We have only made a quick review of the specs, but it appears that there are a few sections missing.	General Shale	Architecture	No. You can submit a substitution to be considered.	
4				3/1/2024	Can you provide a spec on Door Hardware, Bleachers and Pre-Engineered Metal Building. These are not in our set.  Also, our printer is having issues with printing the specs. There are numerous blank pages in the set. We don't want to miss a page. Normally if a page is left blank, theres a note saying that.  I'll follow this up with an official RFI **NO Official RFI as of 03/01/24	Consolidated Construction Company	Architecture	See Addendum #1 for PMB Spec See Addendum #3 for Hardware Spec	
5				3/4/2024	Sitework not included with Proposal  Will the building pad will be ready at the proper elevation when we mobilize?	Dominguez Design-Build		The Owner will bring the site/pad to subgrade. After that it is the responsibility of the bidder.	
6				3/4/2024	1. Is there an official RFI Form to be used for Pre-Bid RFIs? The specs Table of Contents lists one but we are unable to locate the form in the specs.  2. Please provide specifications for Pre-Engineered Metal Building.  3. Please provide specifications for Metal Canopy.  4. Please provide Finish Hardware specification.  5. Please provide detailed description of NIC sitework and what sitework is in the contract.  6. Spec section 064000 – can the AWI certifications be waived?  7. Please provide detail and/or elevation specification for vinyl HVAC fence shown on sheet A1.01.	Limestone Building Group	Architecture	You can send RFIs on your form or by email. See Addendum 1 for PMB spec and site work clarification. The fence spec and detail is in Addendum 2. See Addendum 3 for Metal Canopy Spec and Door Hardware No on waiving AWI See Addendum #2 for fence detail	
7				3/4/2024	Any idea if they would want stormwater monitoring and monthly aerial progress photography included?	GTEC Corp		No.	
8				3/6/2024	On sheet E101 there is a box with designation "S3" in the middle of the primary electrical conduit path. There is no detail or schedule with that symbol in it. Please advise.	Dominguez Design-Build	Electrical	Elec Eng: This is an s3 sectionizing cabinet. (Basically a utility box.) It would usually be by the utility company but installed by contractor. This utility company has not coordinated yet. So it could not be needed.	
9				3/6/2024	• Sheet C-101 shows 18' Curb & Gutter around perimeter of project as well as parking islands and next to the building. Which curbs & gutters will be part of this bid package?  • Sheets C-101 and C-102 indicate concrete paving at handicap parking spaces only. Is that concrete paving to be included in the previous bid package or this package? If it's part of this package, will asphalt paving be completed up to the areas shown as concrete paving?  • Downspout boots are specified in Section 05500 Metal Fabrications but splash blocks are shown throughout Architectural plans. Please advise.  • Steel Bollards are specified in Section 05500 Metal Fabrications but the location is unclear. Please advise.  • Fabric- Covered Sound- Absorbing Units are specified in Section 098430 but we are unable to locate. Please advise.  • Protective Wall Covering is specified in section 102600 but we are unable to located. Please advise.  • There is some uncertainty regarding application and location of Weather Barriers 072500 and Air Barriers 072700. Please clarify locations for each.  • Please provide specifications for Vinyl Fencing.  • Please provide base plate size for columns at 3/4/5-G on sheet S2.01	Carmon Construction		All curb and gutters shown shall be in the bid.  <b>Civil Eng:</b> The plans have been updated to show 24" curb and gutter. All curb and gutter shown will be included in this bid package.  The concrete paving will be included in this bid package.  Concrete for sidewalks and HC parking is the responsibility of the bidder. Weather and air barriers shall be at masonry walls. Other walls are responsibility of the PMB Mfr. Protective wall coverings are required between the exit doors in the lobby.  Metal Building Manufacturer will provide base plate sized for their columns at 3/4/5-G. Fencing spec is in addendum 2  See revised sheet C1-02 -Addendum #3 for bollard locations  See Addendum #2 for fence spec and detail  Base plate size shall be by metal building designer	2 3/15/2024
10				3/7/2024	Please confirm the height of the Exterior Signage. It is scaling at 14" Please confirm the dimensions of the dedication plaque. The specs reference to see details in Conditions of the Contract, we can not find any information in the general conditions of the contract.	Building Construction Association		Plaques shall be cast bronze 20"x30", information for the plaques will be provided during the shop drawing phase Exterior letters shall be 12" from finished sidewalk to B.O.L.	
11				3/7/2024	Please provide spec section for the Pre-Engineered Metal Building.	Dominguez Design-Build		See Addendum 1	
12				3/7/2024	Please provide specification for Bleachers.	Limestone Building Group		See Addendum 2	
13				3/7/2024	Is spec section 098430 applicable to this job? None found on drawings.	Limestone Building Group		Not Applicable	
14				3/7/2024	Sheet A8.01 calls out EPX-1 in restrooms. Finish Legend on sheet A8.03 does not show and EPX-1. Please advise.	Limestone Building Group		Change all EXP1 to EF-1, see Addendum #3	
15				3/7/2024	Sheet A1.01 Keynote 10 indicates 8.5" metal studs. Metal stud standard sizes are 8" and 10". Is 8.5" correct? Will the PEMB components take care of this wall type? Please clarify.	Limestone Building Group		It is 8. See revised wall type sheet Addendum 2	
16				3/7/2024	Sheet A1.01 Keynote 11 -- where brick veneer occurs full height at the entrance of the building, are we to assume that these walls will be built using 8" metal stud framing? Drawings show what looks to be infill framing in between the PEMB purins. Please clarify.	Limestone Building Group		No infill framing between purlins. Masonry walls shall be constructed with 8" studs. See revised partition type Addendum #3	
17				3/7/2024	Sheet A1.01 Detail H2 shows brick approximately 4' tall along the front of the building. Is metal stud framing required for this, or will the brick be tied to the metal building wall sheets? If metal framing is required, will a revised wall section be provided?	Limestone Building Group		Tie off of metal building wall	
18				3/7/2024	What finish will go behind the safety pads at OL-1 column wrap framing?	Limestone Building Group		RFI 15, #4 -- PNT-3 wraps columns per elevations on sheets A7.04 & A7.05	
19				3/8/2024	Please provide documentation A101-2017, Exhibit A, Insurance and Bonds.	Dominguez Design-Build		An AIA101 -2017 Owner/General Contractor document will be provided as a draft to the accepted low bidder for review. Insurance requirements shall be as required by the State of Alabama	
20				3/11/2024	What bid bond form are we to use?	Lee Builders		The Bid Bond/Security is a portion of the proposal form on pages 3 & 4	
21				3/12/2024	I couldn't find any specification section for the Pre-Engineered metal building	Alliance Steel, Inc.		See Addendum 1	
22				3/12/2024	Provide elevation/frame/glazing type for interior glazed unit tagged as "36" at 1020 Office. Ref Docs: A1.01	Cooper Construction		See Addendum #3 Door Hardware spec	
23				3/12/2024	Provide pre-engineered building spec, including a spec for the interior liner panels	Cooper Construction		The PMB spec is in Addendum #1.	
24				3/12/2024	Provide a fire proection specialties spec	Cooper Construction		See Addendum #3	
25				3/12/2024	Provide a Basis of Design for paper towel dispenser TA-03. Ref Docs: 10 2800	Cooper Construction		See revised specification in Addendum #3	
26				3/12/2024	Fabric-wrapped acoustical panels are not called out on the drawings. Is spec 098430 applicable to this project? If yes, provide locations. Ref Docs: 09 8430	Cooper Construction		Section is not applicable	
27				3/12/2024	Clarify the scope of section 2.04, <i>Floor Mounted Equipment</i> , including the quantity of nets, posts and floor sleeves (for both volleyball and pickleball), as well as the quantity of floor anchors for portable gymnasium equipment. Ref Docs: 11 6623	Cooper Construction		4 Volley ball nets with appropriate anchors & sleeves for each. 4 pickle ball nets with anchors	
28				3/12/2024	Provide a spec for the sliding pocket door called out at opening 36	Cooper Construction		See Addendum #3 Door Hardware	
29				3/12/2024	Provide a vinyl fence spec	Cooper Construction		See Addendum #2	
30				3/12/2024	Review/Revise Attachment A to align with this project:  Items 1-11 are assumed to be by Morgan County. Subs for these trades would not be engaged by the GC	Cooper Construction		The Owner will bring the site to subgrade. Any additional requirements for the building pad would be responsibility of the bidders including repair of subgrade due to the bidders work.	
31				3/12/2024	Review/Revise Attachment A to align with this project: Item 13: Provide basis-of-design for VCT (does not appear in the base bid scope of work)	Cooper Construction		There is no VCT on this project	
32				3/12/2024	Review/Revise Attachment A to align with this project:  Items 22-23: Clarify interior or exterior door and frames	Cooper Construction		Doors and frames should be part of the base bid	
33				3/12/2024	Review/Revise Attachment A to align with this project:  Items 24-25: Need more info or basis-of design (these do not appear in the base bid scope of work)	Cooper Construction		Items 24 & 25 are not applicable	
34				3/12/2024	Review/Revise Attachment A to align with this project:  Items 26-27: Need a minimum quantity to base this off of (these do not appear in the base bid scope of work)	Cooper Construction		Items 26 & 27 are not applicable	
35				3/13/2024	Provide wood species, book/end-matching requirements, construction parameters, and field-finishing requirements (i.e. painted or stained?) for wood doors	Cooper Construction		Provide flat cut stain grade birch. Stain color TBD	
36				3/13/2024	Per Sheet C-101, Mass Grading, Utilities, Asphalt Pavement, and Striping are under separate contract. Confirm whether or not Erosion Control BMPs per Sheet C-601 will also be under separate contract.	Cooper Construction		BMPs are still required	
37				3/13/2024	Drawings call out RB-1 rubber base at courts. Specs call for Robbins 3" x 4" vented base. Which is correct? Ref Docs: A8.03  Per Finish Note on Sheet A8.03, wall base is to be installed on all walls...U.N.O. Per sheet A7.02, elevations B1, D6, F6, J6, and B9 shall receive wall tile, and all remaining walls in 103Women and 105 Men will receive tile base only. Confirm if this is correct and, if only tile base is needed, confirm requirement of a matching tile base, or else to utilize cut field tile/ Schluter	Cooper Construction		Courts to receive VB-1.  103 Women and 105 Men are to receive Epoxy Base on all walls per finish legend and schedule.	
38				3/13/2024	Spec 01 4000 refers to individual spec sections for mock up requirements, but Tiling spec 09 3000 refers back to spec 01 4000. Confirm to what extent (i.e. size) wall and/or floor tile mock-ups are required, and whether or not these will be in place mock ups	Cooper Construction		4' x4'	
39				3/13/2024	Provide Resilient Flooring spec	Cooper Construction		See Addendum #3	
40				3/13/2024	Provide an AIA Additions/Deletions report for the altered AIA A101 and AIA A201 provided in the project manual	Cooper Construction		Clean, unedited, and updated documents will be provided to the accepted bidder as a draft for review	
41				3/14/2024	Note 15 references tap, meter, connection fees by contractor. Confirm this is by utility contractor (under separate contract). If this is required to be carried by the GC, provide either an allowance to carry, or provide a site utility drawing	Cooper Construction		County will pay fees for utility taps and meters.	
42				3/14/2024	Provide geotech report, or provide an allowance for the presence of rock for footing excavation	Cooper Construction		See report in Addendum #3	
45				3/15/2024	Please provide a specification on the pre-engineered metal building insulation.	Consolidated Construction Company		By the metal building manufacture/supplier	
46				3/15/2024	Section 05500 calls for downspout boots. Sheet A3.01 appears to call for splash blocks (SB). We do not have in our sets a storm plan that shows any downspout boots or what they tie to. Please clarify.	Consolidated Construction Company		Downspout boots are required and all down spouts shall be tied to subgrade storm. You will have to coordinate with the Owner	
47				3/15/2024	There are no details of the exterior set of stairs. Are they a pan type filled with concrete or a grating type tread? Are they to be galvanized or painted?	Consolidated Construction Company		Pan filled concrete and metal stairs are delegated design and will be reviewed during the shop drawing phase	
48				3/15/2024	The wood floor specifications call for Bio Channel SB (anchored resilient system) and the plans call for Bio Cushion Classic (floating, double layer plywood). Can you please confirm which one we should price? We would recommend Bio Channel SB since it is anchored.	Greer Building Contractors		Bio Channel SB-See revised sheets Addendum #3	
49				3/19/2024	Unit prices do not match Scope of Work.	Chase Building Group		See revised form.	
50				3/19/2024	List of Substitutions does not match Scope of Work.	Chase Building Group		See list of accepted substitutions.	
51				3/19/2024	Please allow for steel companies to bid on this project that follows AISC requirements but are not AISC certified. This will help with more competitive pricing for the steel.	Dominguez Design-Build		No.	
52				3/19/2024	Request for Daikin Applied to be approved to bid controls (HVAC) on this project.	Daikin Applied		Mech. Eng: We are ok with Daiken Applied bidding controls for Morgan County Center.	
53				3/20/2024	Here is another question regarding utility taps and meters. Please advise if this is you or repoisibility of the GCs.	Morgan County Engineering Dept.		County will pay fees for utility taps and meters.	
54				3/20/2024	In the RFI log, item 43, you answered your question regarding downspout boots as specified. But without a storm layout drawing with pipe sizes, no piping from the boot to the pipe provided by the County will be included. We will assume the County will bring the piping up to the boot.	Morgan County Engineering Dept.		GMC Civil is supposed to do daylight sownspouts through sidewalk turnaround or curb to parking lot. Would probably be a good idea to have a several extra capped pipes in case water issues develop. The county will not be providing a storm drain pipe.	
55				3/20/2024	Note on A2.01 at the center wall says, "Divider Curtain". Please clarify.	Morgan County Engineering Dept.		Don't think that's our question.	
56				3/20/2024	Is the County providing the topsoil replacement? If not, are they stockpiling topsoil onsite or should we figure offsite topsoil?	Morgan County Engineering Dept.		County is not providing topsoil. Any usable onsite topsoil will be used for the septic field.	
57				3/20/2024	The only landscaping shown is on sheet C-601 that notes, "permanent seeding", Please provide specification.	Morgan County Engineering Dept.		GMC Civil provided that note. The county would prefer emerald zoysia sod. Assume there are exterior water faucets.	
58				3/20/2024	Is the County obtaining ADEM permit since they are providing the site work?	Morgan County Engineering Dept.		County is getting the ADEM permit.	

59				3/20/2024	Should they provide the erosion control since they will be starting work before a contract is obtained by the GC?	Morgan County Engineering Dept.		County will provide exterior erosion control. Contractor is responsible for erosion control and maintenance for their construction area.		
60				3/20/2024	Is it likely that the County will complete the sitework before a GC starts work?	Morgan County Engineering Dept.		Unlikely that all work in the parking area will be completed.		
61				3/21/2024	Is testing by the GC or the Owner?	Greer Building Contractors		Owner.		
62				3/21/2024	Spec Section 012100 says that there is an allowance for testing but there isn't.	Greer Building Contractors		Owner providing test. No allowance required.		
63				3/21/2024	Per Spec section 3.01, how many Procore user licenses are the GC required to carry?	Cooper Construction		Not tied to Procore but should be equ. GC carries the license & shall include GMC& our consultants as reviewers/ approvers.		
64				3/21/2024	Per spec section 2.04, is a plaque required? If yes, what size?	Cooper Construction		Yes, 24x30" cast bronze. Details to be worked out in submittal phase.		
65				3/22/2024	Please provide chain link and gates spec section.	Dominguez Design-Build		Not in project.		
66				3/25/2024	We would like to request a Drainage Plan in order to know how many inlet tops are proposed for curb and gutter pricing.	BCA General Contractors		Owner: <b>"We are planning 8 open outlets that will drain to an open drainage ditch. The outlet would be paid for as linear curb and gutter since it has two two curb and gutter sections."</b>	Addendum 5	
67				3/26/2024	Provide product or Basis-of-Design for sealed concrete SC-1	Cooper Construction		See 03 3660 sealed concrete attachment.	Addendum 5	
68				3/26/2024	The plans (as per ADD #3) calls for sheathing, 5/8" PT Plywood at the Brick Veneer locations only & Dens glass at the metal panels. RFI #15 states that there will be no infilling of metal framing between the Girts. The Girts are 4 feet apart horizontally and we will need some sort of support between the Girts to attach our sheathing to, on the exterior as well as on the interior side, which will have drywall. Please reference "Wall Sections on page A5.11, detail A8, which shows infilling of interior studs between girts at the Concessions Storage only, which should be typical for all locations receiving sheathing or drywall. Can you please advise on how we should proceed with this instance?	Cooper Construction		Correct, all ext walls shall receive infill studs between girts, and batt insulation with R-Value to be determined by PMB manufacturer. See revised sheets and attachments for clarification.	Addendum 5	
69				3/26/2024	What is the height of interior (3 5/8") furred columns at the Basketball & Volleyball courts, with wall tag OL-1/3.5? Will it be full height 30' from AFF, or will it go to the underside of the running track at 16' and from the running track to underside of deck approximately another 16'? Also, the drywall in this location is specified as an interior fire rated board. Will you require abuse boards in this location as well?	Cooper Construction		Per Structural Engineer: <b>"These columns are part of the metal building frame so we do not know exactly how they will be framed. Our assumption is that they will be one piece full height of the building to support the metal building roof frame. The mezzanine beams will frame into the side of these columns."</b>  <b>Fire-rated gyp only in ELECTRICAL RM 104, and DATA 118.</b> See revised Partition Types.  <b>Abuse (impact resistant) gyp only in LOBBY ENTRY 100.</b>	Addendum 5	
70				3/26/2024	There is a detail to provide metal framing and drywall at the underside of the scissor stairs on page A5.23, details H10, E10 & A10. Is the intention to frame the underside of the full stairs or just the underside of the intermediate landing and the top portion of the stair only?	Cooper Construction		<b>Just as shown, at the landings (intermediate and top portion,) yes.</b>	Addendum 5	
71				3/26/2024	Keynotes - Floor Plan, #9 on page A1.01, calls for abuse boards in the Lobby. Am I to assume that all walls in "Lobby Entry" space #100 will require abuse boards? If not, please specify the locations?	Cooper Construction		<b>Yes, all walls in LOBBY ENTRY 100.</b>	Addendum 5	
72				3/26/2024	Are we to provide furring at the interior side of the stairwells as well? The IMG partition type shows furring on one side only; however, the CMU wall is tagged on both sides. Please advise how to proceed?	Cooper Construction		<b>No, furring is only on the outside of the stairwell CMU. See revised A1.01 First Floor Plan.</b>	Addendum 5	
73				3/26/2024	Please confirm that there is no drywall at the interior side of the OL/12 wall, where there is 2" metal perforated panels in the Basketball & Volleyball courts (A&B).	Cooper Construction		<b>Yes, correct.</b> (As shown in OL 12, G1.22) Only in Kitchen, Multipurpose Rooms.	Addendum 5	
74				3/26/2024	Are there any drywall on the interior side on the Multipurpose room Space #111 A & #112 B, on the OL/12 walls? Plans indicate that it is a 2" perforated prefinished metal panels. Please advise.	Cooper Construction		<b>Perforated metal panel is only in the courts. Yes, drywall in Multipurpose rooms.</b>	Addendum 5	
75				3/26/2024	Spec book under the "Gypsum Assemblies" mention "Bullet Resistant boards," are we required to provide this type of boards and if so, can you help providing locations where this will occur?	Cooper Construction		No bullet-proof resistant boards in project.	Addendum 5	
76				3/26/2024	Please provide spec section or basis of design for the metal shelving called out in the concession area on page A7.01	Dominguez Design-Build		Stainless wall shelving for Kitchen & Concessions to be equal to Uline steel wall shelf #H-7498, see attached. (double to meet required design lengths.)	Addendum 5	
77				3/27/2024	Please provide revised unit pricing that is noted in addendum #4 item 49.	Dominguez Design-Build		see attached revised unit price sheet.	Addendum 5	
78				3/27/2024	Does the county already have a contract in place with a company for the HVAC controls or if we can use anyone? Please advise.	Dominguez Design-Build		<b>No. They do not require a typical vendor.</b> They have used Trane controls at most their locations.	Addendum 5	
79				3/28/2024	How do we drain water from the aluminum canopy on sheet A5.22?			The canopy is delegated design and the drainage shall be by the canopy designer/ fabricator.	Addendum 5	
80				3/28/2024	Section 230500 appears to require HVAC subcontractors to have a full time Mechanical PE on staff. Please advise if this is required?			No. The design of HVAC systems provided in shop drawings or submittals will require: a mechanical engineer.	Addendum 5	
81				3/28/2024	Is the VIP panel in roof details required?			No. Provide rigid poly-iso per spec equal to R-30	Addendum 5	
82				3/27/2024	PEMB designers need the following: What mezzanine floor live load and dead load ratios were reactions calculated with?	Cooper Construction		Structural Engineer: See note 1.2/B on S1.00 for floor live loads. Floors, Corridors, Stairs and Exits are all 100 psf.	Addendum 6	
83				3/28/2024	Please provide design of stainless steel shelves found in the Concession Stand and in the Kitchen. Please provide more details on these items.	Dominguez Design-Build		See Addendum 5	Addendum 6	
84				3/28/2024	According to the Specifications Section 23 05 00.1.5.A.2 APPEARS to require HVAC subcontractors to have a full time Mechanical PE on staff. Please advise if this is required.	Dominguez Design-Build		See Addendum 5	Addendum 6	
86				3/28/2024	Detail A8/A5.11 shows a 1-1/2" Metal Deck between the metal building purlins and the rigid insulation. This is not your typical metal building roof design. Is this required? If so, how will the metal building standing seam clips be attached through the 4" of rigid insulation? How will the metal deck be attached to the metal building purlins - puddle welded? Screwed?	Greer Building Contractors		There's a 5/8" coverboard on top of the insulation. The decking is there to support the insulation.	Addendum 6	
87				3/28/2024	Sheet A2.01 shows a Divider Curtain between the two gymnasiums. What exactly is this made of?	Greer Building Contractors		Disregard curtain note. There is a demising wall there, no curtain.	Addendum 6	
88				3/28/2024	who is supplying the center columns in the building? The drawings say 10x10 square tube but do not give any wall thickness information, base plate or anchor bolt information.	Greer Building Contractors		Per Engineered Metal Building manufacturer. Structural note limits overall column dimensions, but the PMB will size the column itself.	Addendum 6	
89				3/29/2024	Please provide spec section for the divider curtain mentioned on page A2.01. I noticed another RFI was asked on addendum 3 but a spec section was not provided.	Dominguez Design-Build		By PMB manufacturer.	Addendum 6	
90				3/29/2024	RFI 49, your response was that a revised Unit price sheet was attached. RFI 77 in Addendum 5, your response was See revised Unit Price Sheet. None have been attached.	Chase Building Group		See attached.	Addendum 6	